



# PLANNING SUB - COMMITTEE

Wednesday 12 January 2022  
at 6.30 pm Council Chamber, Hackney Town Hall,  
Mare Street, London E8 1EA

The live stream can be viewed here:

<https://youtu.be/hFbdOozvGWE>

In case any technical issues arise with the main livestream please use this alternative link: <https://youtu.be/a9p8-njAq6Y>

## Members of the Committee:

Councillor Vincent Stops (Chair), Councillor Katie Hanson (Vice-Chair), Councillor Brian Bell, Councillor Ajay Chauhan, Councillor Humaira Garasia, Councillor Clare Joseph, Councillor Michael Levy, Councillor Steve Race and Councillor Sarah Young  
Substitute Planning Sub-Committee Members

Councillor Anna Lynch, Councillor M Can Ozsen, Councillor Benzion Papier, Councillor Clare Potter and two majority group vacancies

**Mark Carroll – Chief Executive**

**Published: 4 January 2022**

Gareth Sykes , Governance Services

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Hackney Council website: [www.hackney.gov.uk](http://www.hackney.gov.uk)

# **Planning Sub-Committee Wednesday 12 January 2022 Agenda**

- 1 Apologies for absence**
- 2 Declarations of interest**
- 3 To consider any proposal/questions referred to the Sub-Committee by the Council's Monitoring Officer**
- 4 Minutes of the previous meeting**
  - 1 December 2021 Planning Sub-Committee meeting
  - 27 October 2021 Planning Sub-Committee meeting
  - 6 October 2021 Planning Sub-Committee meeting
  - 7 July 2021 Planning Sub-Committee meeting
- 5 2021/2842: 3 Bradbury Street, Hackney, London, N16 8JN**
- 6 2021/2864: 21 Purcell Street, London, N1 6RD**
- 7 2021/2489 and 2021/2436: 96 Brooke Road, London, N16 7RT**
- 8 Delegated decisions**
- 9 Any other business**
- 10 Dates of next meeting**

## Public Attendance

The Town Hall is not presently open to the general public, and there is limited capacity within the meeting rooms. However, the High Court has ruled that where meetings are required to be 'open to the public' or 'held in public' then members of the public are entitled to have access by way of physical attendance at the meeting. The Council will need to ensure that access by the public is in line with any Covid-19 restrictions that may be in force from time to time and also in line with public health advice.

Those members of the public who wish to observe a meeting are still encouraged to make use of the live-stream facility in the first instance. You can find the link on the agenda front sheet.

Members of the public who would ordinarily attend a meeting to ask a question, make a deputation or present a petition will be able to attend if they wish. They may also let the relevant committee support officer know that they would like the Chair of the meeting to ask the question, make the deputation or present the petition on their behalf (in line with current Constitutional arrangements).

In the case of the Planning Sub-Committee, those wishing to make representations at the meeting should attend in person where possible.

**Regardless of why a member of the public wishes to attend a meeting, they will need to advise the relevant committee support officer of their intention in advance of the meeting date. You can find contact details for the committee support officer on the agenda front page.** This is to support track and trace. The committee support officer will be able to confirm whether the proposed attendance can be accommodated with the room capacities that exist to ensure that the meeting is covid-secure.

**As there will be a maximum capacity in each meeting room, priority will be given to those who are attending to participate in a meeting rather than observe.**

Members of the public who are attending a meeting for a specific purpose, rather than general observation, are encouraged to leave the meeting at the end of the item for which they are present. This is particularly important in the case of the Planning Sub-Committee, as it may have a number of items on the agenda involving public representation.

## Before attending the meeting

The public, staff and councillors are asked to review the information below as this is important in minimising the risk for everyone.

If you are experiencing covid symptoms, you should follow government guidance. Under no circumstances should you attend a meeting if you are experiencing covid symptoms.

Anyone experiencing symptoms of Coronavirus is eligible to book a swab test to find out if they have the virus. You can register for a test after checking your symptoms through the NHS website. If you do not have access to the internet, or have difficulty with the digital portals, you are able to call the 119 service to book a test.

If you're an essential worker and you are experiencing Coronavirus symptoms, you can apply for priority testing through GOV.UK by following the guidance for essential workers. You can also get tested through this route if you have symptoms of coronavirus and live with an essential worker.

Availability of home testing in the case of people with symptoms is limited, so please use testing centres where you can.

Even if you are not experiencing covid symptoms, you are requested to take an asymptomatic test (lateral flow test) in the 24 hours before attending the meeting.

You can do so by visiting any lateral flow test centre; details of the rapid testing sites in Hackney can be found here. Alternatively, you can obtain home testing kits from pharmacies or order them here.

You must not attend a lateral flow test site if you have Coronavirus symptoms; rather you must book a test appointment at your nearest walk-through or drive-through centre.

Lateral flow tests take around 30 minutes to deliver a result, so please factor the time it will take to administer the test and then wait for the result when deciding when to take the test.

If your lateral flow test returns a positive result then you must follow Government guidance; self-isolate and make arrangements for a PCR test. Under no circumstances should you attend the meeting.

## **Attending the Town Hall for meetings**

To make our buildings Covid-safe, it is very important that you observe the rules and guidance on social distancing, one-way systems, hand washing, and the wearing of masks (unless you are exempt from doing so). You must follow all the signage and measures that have been put in place. They are there to keep you and others safe.

To minimise risk, we ask that Councillors arrive fifteen minutes before the meeting starts and leave the meeting room immediately after the meeting has concluded. The public will be invited into the room five minutes before the meeting starts.

Members of the public will be permitted to enter the building via the front entrance of the Town Hall no earlier than ten minutes before the meeting is scheduled to start. They will be required to sign in and have their temperature checked as they enter the building. Security will direct them to the Chamber or Committee Room as appropriate.



Seats will be allocated, and people must remain in the seat that has been allocated to them.

Refreshments will not be provided, so it is recommended that you bring a bottle of water with you.

## **RIGHTS OF PRESS AND PUBLIC TO REPORT ON MEETINGS**

Where a meeting of the Council and its committees are open to the public, the press and public are welcome to report on meetings of the Council and its committees, through any audio, visual or written methods and may use digital and social media providing they do not disturb the conduct of the meeting and providing that the person reporting or providing the commentary is present at the meeting.

Those wishing to film, photograph or audio record a meeting are asked to notify the Council's Monitoring Officer by noon on the day of the meeting, if possible, or any time prior to the start of the meeting or notify the Chair at the start of the meeting.

The Monitoring Officer, or the Chair of the meeting, may designate a set area from which all recording must take place at a meeting.

The Council will endeavour to provide reasonable space and seating to view, hear and record the meeting. If those intending to record a meeting require any other reasonable facilities, notice should be given to the Monitoring Officer in advance of the meeting and will only be provided if practicable to do so.

The Chair shall have discretion to regulate the behaviour of all those present recording a meeting in the interests of the efficient conduct of the meeting. Anyone acting in a disruptive manner may be required by the Chair to cease recording or may be excluded from the meeting.

Disruptive behaviour may include: moving from any designated recording area; causing excessive noise; intrusive lighting; interrupting the meeting; or filming members of the public who have asked not to be filmed.

All those visually recording a meeting are requested to only focus on recording councillors, officers and the public who are directly involved in the conduct of the meeting. The Chair of the meeting will ask any members of the public present if they have objections to being visually recorded. Those visually recording a meeting are asked to respect the wishes of those who do not wish to be filmed or photographed. Failure by someone recording a meeting to respect the wishes of those who do not wish to be filmed and photographed may result in the Chair instructing them to cease recording or in their exclusion from the meeting.

If a meeting passes a motion to exclude the press and public then in order to consider confidential or exempt information, all recording must cease and all recording equipment must be removed from the meeting. The press and public are not permitted to use any means which might enable them to see or hear the

proceedings whilst they are excluded from a meeting and confidential or exempt information is under consideration.

Providing oral commentary during a meeting is not permitted.

## **ADVICE TO MEMBERS ON DECLARING INTERESTS**

Hackney Council's Code of Conduct applies to all Members of the Council, the Mayor and co-opted Members.

This note is intended to provide general guidance for Members on declaring interests. However, you may need to obtain specific advice on whether you have an interest in a particular matter. If you need advice, you can contact:

- Director of Legal and Governance Services
- the Legal Adviser to the committee; or
- Governance Services.

If at all possible, you should try to identify any potential interest you may have before the meeting so that you and the person you ask for advice can fully consider all the circumstances before reaching a conclusion on what action you should take.

You will have a disclosable pecuniary interest in a matter if it:

- i. relates to an interest that you have already registered in Parts A and C of the Register of Pecuniary Interests of you or your spouse/civil partner, or anyone living with you as if they were your spouse/civil partner;
- ii. relates to an interest that should be registered in Parts A and C of the Register of Pecuniary Interests of your spouse/civil partner, or anyone living with you as if they were your spouse/civil partner, but you have not yet done so; or
- iii. affects your well-being or financial position or that of your spouse/civil partner, or anyone living with you as if they were your spouse/civil partner.

If you have a disclosable pecuniary interest in an item on the agenda you must:

- i. Declare the existence and nature of the interest (in relation to the relevant agenda item) as soon as it becomes apparent to you (subject to the rules regarding sensitive interests).
- ii. You must leave the meeting when the item in which you have an interest is being discussed. You cannot stay in the meeting whilst discussion of the item takes place and you cannot vote on the matter. In addition, you must not seek to improperly influence the decision.
- iii. If you have, however, obtained dispensation from the Monitoring Officer or Standards Committee you may remain in the meeting and participate in the meeting. If dispensation has been granted it will stipulate the extent of your involvement, such as whether you can only be present to make representations, provide evidence or whether you are able to fully participate and vote on the matter in which you have a pecuniary interest.

Do you have any other non-pecuniary interest on any matter on the agenda which is being considered at the meeting?

You will have 'other non-pecuniary interest' in a matter if:

- i. It relates to an external body that you have been appointed to as a Member or in another capacity; or
- ii. It relates to an organisation or individual which you have actively engaged in supporting.

If you have other non-pecuniary interest in an item on the agenda you must:

- i. Declare the existence and nature of the interest (in relation to the relevant agenda item) as soon as it becomes apparent to you.
- ii. You may remain in the meeting, participate in any discussion or vote provided that contractual, financial, consent, permission or licence matters are not under consideration relating to the item in which you have an interest.
- iii. If you have an interest in a contractual, financial, consent, permission or licence matter under consideration, you must leave the meeting unless you have obtained a dispensation from the Monitoring Officer or Standards Committee. You cannot stay in the meeting whilst discussion of the item takes place and you cannot vote on the matter. In addition, you must not seek to improperly influence the decision. Where members of the public are allowed to make representations, or to give evidence or answer questions about the matter you may, with the permission of the meeting, speak on a matter then leave the meeting. Once you have finished making your representation, you must leave the meeting whilst the matter is being discussed.
- iv. If you have been granted dispensation, in accordance with the Council's dispensation procedure you may remain in the meeting. If dispensation has been granted it will stipulate the extent of your involvement, such as whether you can only be present to make representations, provide evidence or whether you are able to fully participate and vote on the matter in which you have a non pecuniary interest.

Further Information

Advice can be obtained from Dawn Carter-McDonald, Director for Legal & Governance Services via email [dawn.carter-mcdonald@hackney.gov.uk](mailto:dawn.carter-mcdonald@hackney.gov.uk)

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## DRAFT MINUTES OF A MEETING OF THE PLANNING SUB-COMMITTEE

WEDNESDAY 1 DECEMBER 2021

THIS MEETING WAS LIVE STREAMED AND CAN BE VIEWED HERE:

<https://youtu.be/GVxuRnHSnec>

<b>Chair:</b>	<b>Councillor Vincent Stops</b>
<b>Councillors Present:</b>	<b>Councillor Humania Garasia, Councillor Steve Race and Councillor Sarah Young</b>
<b>Apologies for Absence</b>	<b>Councillor Brian Bell, Councillor Ajay Chauhan, Councillor Katie Hanson, Councillor Clare Joseph and Councillor Michael Levy</b>
<b>Officers in Attendance:</b>	<b>Rob Brew, Major Application Team Leader Nick Bovaird, Senior Planner, Major Projects Graham Callam, Growth Team Manager James Carney, Affordable housing viability Officer Joe Croft, Senior Transport Planner (Development Control) Adam Dyer, Conservation and Design Officer Luciana Grave, Conservation Urban Design and Sustainability Manager Mario Kahraman, ICT Support Analyst Conor Keappock, Principal Urban Design Officer Jennifer Miller, Business Support Officer, Legal Services John Tsang, Development Management &amp; Enforcement Manager Andrew Spragg, Governance Services Team Leader Gareth Sykes, Governance Services Officer Christine Stephenson, Legal Officer</b>

## **1 Apologies for Absence**

- 1.1. Apologies for absence were submitted from Councillors Brian Bell, Ajay Chauhan, Katie Hanson, Clare Joseph and Michael Levy.

## **2 Declarations of Interest**

- 2.1 There were no declarations of interest.

## **3 Consider any proposal/questions referred to the sub-committee by the Council's Monitoring Officer**

- 3.1 There were no proposals/questions referred for consideration.

## **4 Minutes of the previous meeting**

- 4.1 The minutes of the previous meeting, held on the 3 November 2021, were agreed, subject to amendments, as an accurate record of those meetings' proceedings.

**RESOLVED, that the previous meeting, held on the 3 November 2021, were AGREED, subject to amendments, as an accurate record of that meeting's proceedings.**

## **5 2020/1461: 144 - 164 Homerton High Street, Bison House and 7 Sedgwick Street, 84-90 Digby Road, London, E9 6JA**

- 5.1 **PROPOSAL:** Demolition and redevelopment of the site for a mixed-use development comprising buildings ranging in height from 4 to 17 stories containing 245 residential units (Class C3, reduced from 264 ), 4,489m<sup>2</sup> of commercial floorspace (reduced from 4,532m<sup>2</sup>) including 402m<sup>2</sup> A1 & 327 m<sup>2</sup> of A3/A4/A5 uses, including vehicle access from Sedgwick Street and Digby Road into basement service area, roof terrace external amenity spaces, publicly accessible open space and landscaping, plant and all other associated works.

### **5.2 POST SUBMISSION REVISIONS:**

Revisions include: reductions in scale and massing to some buildings; reduction in amount of residential and commercial floorspace; changes to elevation appearance of some buildings, including architectural approach, materials, and design of ground floor frontages to commercial units; change to plan layouts, including residential and commercial unit layouts and simplified ground floor residential entrances; change to design of proposed central courtyard; proposed canopy at the entrance to building A adjacent to Sedgwick Street; introduction of 4 on site disabled car parking spaces; increase in proportion of affordable housing. A 21 day re-consultation on this information has been carried out (see consultation section).

- 5.3 Hackney Council's Planning Service's Senior Planner introduced the planning application as set out in the published meeting papers.

- 5.4 There were two persons registered to speak in objection to the application. During their submission they raised a number of concerns about the proposals including the loss of daylight and sunlight for the existing ground floor artist studios and the proposed building dwarfing the existing buildings in the vicinity leading to overdevelopment. The proposals were seen as another example of ‘the relentless gentrification of East London’ and they stated that the demolition of places of worship and small businesses would severely impact on the diverse nature of the area. They also felt that the proposals would create an unnecessary environmental burden, suggesting that it would have a large carbon footprint and would require large amounts of energy to run. They added that the proposals were not designed with the local community in mind and that there was simply not enough space in the location for another tall building. There were also concerns raised about the wind speeds and the impact of the proposals on the existing trees and the flood risk to the area.
- 5.5 The applicant gave a brief overview of the development of the proposals as well as highlighting the challenging aspects of the site and addressing those concerns raised by existing local residents. They emphasised how their ambition was to deliver a state-of-the-art light industrial space with the emphasis on a hub of innovation and a policy compliant work space component. Every effort had been made to accommodate the needs of the existing local residents and it was noted that the three Plane Trees on Sedgwick Street would be retained and that the planting of 34 new trees was proposed. The applicant added that an assessment of the impact of wind had been undertaken by the applicant. Regarding the existing places of worship on site, the applicant explained that two of the places of worship had confirmed that they no longer wished to use the space while another had not been using the space for approximately 20 months. Another place of worship was understood to be still being used. The Planning Officer noted that these areas were not authorised for use and it was highlighted that there were available in the local area other authorised places of worship.
- 5.6 The Planning Sub-Committee raised a number of questions and the following points were raised:
- The Council’s Planning Service acknowledged that there was a shortfall in the playspace in the proposals but this was mitigated by the public realm contribution of £500k. The Planning Service deemed this to be acceptable despite it not meeting the policy requirement. The applicant added that the proposed playspace on the roof terraces was accessible to all residents in the development. This was for residents with younger children. Older children already had access to established playspaces in the local area
  - The applicant highlighted that the proposed building with the majority of social housing would have direct access to the playspace on the first floor. It was also the block with the most roof terraces and it also provided access to the third floor roof space running along Sedgwick Street
  - Landscaping and play spaces were of identical quality across all of the site

- The Planning Service outlined the steps it had taken to contact the existing places of worship on site and how they understood from the applicant that they had not heard back from two of the places of worship and the applicants had stated they were no longer in use. Approximately two weeks before this meeting the Planning Service had heard from another of the places of worship. The Planning Service had then responded but there was no subsequent reply from the recipient. Aside from this, the Planning Service had concluded that, as a Priority Industrial Area, these unauthorised uses should not be accommodated within the proposal scheme. The Council's Regeneration Team would be interested in holding talks with these places of worship in respect of their relocation, should they choose to get in touch.
- The Planning Service had worked closely with the applicant to improve the offer and it was felt that the planning application was now acceptable. On the issues of cycle security this would be scrutinised as part of the further work on the conditions. There would be a cycle parking management plan that would need to be in line with the London cycle design standards
- The applicant's architect stated that in terms of cycle parking the emphasis for them had been on the quality and the convenience of the parking space. It was right next to the entrances and it was accessible from the street. As recommended by Hackney Council, the applicant had provided more Sheffield cycle stands to accommodate both cargo and larger bicycles. The cycle parking areas had also been made larger at the expense of some loss of commercial space but it was recognised that the applicant could not go far from the requirements for the site
- Some of the Planning Sub-Committee members stressed the need for secure cycle parking inside the building
- The Planning Officer explained that under the proposals there was nothing in the building that would stop light industrial use from functioning and at the same time there was nothing that would result in too much of an amenity impact to the existing and future residents
- As the site was light industrial and surrounded by residential areas, workshops that undertook metal work, for example, would not be a suitable fit for the site. The committee recognised that some heavy industry was being lost to light industry but the application was creating a different type of industrial use but it was not to say that the former could not be located somewhere else in the borough
- The proposals would see 16 stories above ground
- The archaeology condition in the published report had been drafted to address concerns that had been raised
- The Chair of the committee wished for the pre-commencement details of the changes to Sedgwick Street to return to the committee for the members' consideration. The Planning Officer replied that the £500k contribution would be a section 106 agreement which essentially meant that this would be agreed by Hackney Council at Cabinet level, so it would not come back to the Planning Sub-Committee



- The Planning Sub-Committee was provided with further details about the process of the allocation of the contribution. While the design of the proposals could be part of the section 106 agreement to try to make the details of the allocation too specific would make the eventual spend allocation quite challenging
- The Chair of the Sub-Committee took the view that the committee should see the scope of the expenditure. The Planning Officer, referring to the published drawings for the proposals, outlined the changes as far as was known. The Planning Service would continue to feed into the process. The Chair of the Sub-Committee recommended an informative on how the £500k contribution was going to be spent
- The Chair of the Sub-Committee commented that for the future he wanted the Planning Sub-Committee to see the report to refer to the Local Plan guidance of viability testing for schemes below 50% Affordable Housing, rather than the fast track route at 35% referred to in the London Plan. For the public route through the site, gates would be installed and as part of a condition, opening times were to be arranged at the next stage of the planning process. The Sub-Committee's preference was for a minimum of dawn to dusk opening times. The applicant agreed to this, along with a requirement that the gates would be left open at these times
- The materiality for the proposals had changed recently and the Planning Officer explained that it was typical at this stage of the planning process to not have available all the details, for example the brick work for the tower
- The Chair of the Sub-Committee recommended that all the details of the materials should be discharged
- On the landscaping aspect of the proposals there was a condition in place and the Planning Service were of the view that it was detailed enough at this stage
- The Chair of the Sub-Committee took the view that the sub-committee should also see further details on landscaping when they were available.
- In terms of the density of the scheme, the Planning Service, with the Hackney Society's comments, for example in mind, had adopted a holistic approach to the proposals, in line with the Local Plan and the London Plan. The scheme, as a design-led approach, was deemed by the Planning Service to be acceptable
- On the daylight and sunlight impact for existing residents of the proposals, the Planning Officer cited the comments from the applicant raised earlier about the overhang of their building. Such was its configuration that any development on the opposite side of the road would lead to some sort of impact on daylight and sunlight
- The Sub-Committee acknowledged that the Planning Service as part of its work had taken into consideration the impact of the proposals on the existing residents on the street. The Building Research Establishment's Environmental Assessment Method (BREEAM) guidance had set out that the Planning Service must consider the impact, for example, on the existing balconies. In

relation to the other aspects of the proposals, the Planning Service was of the view that they were acceptable

- In accordance with Hackney Council policy, a review mechanism had been agreed as part of the affordable housing offer of the proposals. The Sub-Committee noted that the Greater London Authority (GLA) wanted to see the details of the section 106 agreement so that they could examine the early and late stage reviews prior to stage two
- The Council's Viability Officer explained that the agreed Gross development value (GDV) for the proposals would be £128 Million. As the scheme was a mixed tenure scheme with both private and affordable residential, as well as commercial accommodation, the Council and applicant's consultant both targeted separate profit margins for each individual component of the development. It was 17.5% GDV on the private rented accommodation, 6% GDV on the affordable housing and 15% GDV on the commercial space. In the published papers, details were provided on how much profit the scheme was currently forecast to make. The Council's appraisal of the agreed position, reflected an aggregate profit margin of £18,618,855 (reflecting 14.51% on GDV), which was less than the agreed blended aggregate profit requirements of £20,234,459 (reflecting 15.77% on GDV). When asked if the GLA agreed with the agreed final position between the Council and the applicant, the Viability Officer stated he understood this to be the case. He also highlighted that the agreed profit margins were generally in accordance with those seen across London in viability assessments at present for similar schemes, and were also in accordance with the levels the GLA typically adopts for schemes of this size
- The Planning Sub-Committee agreed that the material details would return to the committee and an informative was to be written highlighting the deficiencies in the play space in the proposals. The Chair of the Sub-Committee agreed to liaise with the Planning Service over the wording of the informative
- The Planning Sub-Committee agreed to the landscaping condition being returned to the committee for discharge

Vote\*:

For: Councillor Stops, Garasia and Race.

Against: None

Abstention: None

**RESOLVED, conditional planning permission was GRANTED, subject to completion of a Legal Agreement and stage II approval from the Greater London Authority (GLA).**

\*Councillor Young had joined the meeting after agenda item 5 had started and therefore under the Council's constitution was not eligible to participate in the discussion and the vote on the application.

## 6. Delegated decisions

6.1 The Planning Sub-Committee noted the delegated decisions document.

**RESOLVED, the Planning Sub-Committee noted the delegated decisions document.**

**Duration of the meeting: 18:30 - 19:35 hours**

**Chairperson for the meeting: Councillor Vincent Stops**

**Gareth Sykes, Governance Services Officer  
Contact: [gareth.sykes@hackney.gov.uk](mailto:gareth.sykes@hackney.gov.uk)**

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**DRAFT MINUTES OF THE PLANNING SUB- COMMITTEE (PRE APP)  
HELD ON  
WEDNESDAY, 27 October 2021**

**THIS MEETING WAS LIVE STREAMED AND CAN BE VIEWED HERE:**

[https://youtu.be/bFZ\\_a6OtL4g](https://youtu.be/bFZ_a6OtL4g)

- Chair:** Councillor Vincent Stops in the Chair
- Councillors in Attendance:** Councillor Brian Bell, Councillor Katie Hanson (Vice-chair), Councillor Clare Joseph, Councillor Clare Potter (Substitute) Councillor Steve Race and Councillor Sarah Young
- Apologies:** Councillor Ajay Chauhan, Councillor Humira Garasia and Councillor Michael Levy
- Officers in Attendance:** Natalie Broughton, Head of Planning and Building Control  
Anne Byre, Head of Regeneration (Woodberry Down)  
Mario Kahraman, ICT Support  
Catherine Slade, Major Projects Principal Planning Officer - Woodberry Down  
Christine Stephenson , Specialist Planning Lawyer  
Andrew Spragg, Governance Services Team Leader

## **1 Apologies for Absence**

- 1.1 Apologies for absence were received from Councillors Ajay Chauhan, Humira Garasia and Michael Levy.

## **2 Declarations of Interest - Members to declare as appropriate**

- 2.1 Councillor Sarah Young made a declaration: the Councillor's ward was Woodberry Down.

## **3. Proposals/questions referred to the Sub-Committee by the Council's Monitoring Officer**

- 3.1 There were no proposals/questions referred by the Council's Monitoring Officer to the Sub-Committee.

## **4. Pre-Application Woodberry Down Masterplan - Phases 4-8 2021/0211/PA**

- 4.1 The Hackney Council Planning Service's Major Projects Principal Planning Officer for Woodberry Down gave a brief introduction to the application, as set out in the published meeting papers.

- 4.2 The Planning Sub-Committee next heard from representatives for the applicant, Berkeley Homes. During their presentation they covered a number of points including the general principles of the Master Plan and the initial concept for phase 4 of the development. They explained that they were looking at five points of development including reconnecting the eastern green finger to the New River, refocusing the community and commercial areas and the design for the existing trees. The committee also noted other proposals including tri-directional cycle lanes along Seven Sisters Road and a flexible central square on the estate for use by local residents.

- 4.3 During the discussion phase of the meeting a number of points were raised including the following:

- Several years ago Hackney Council had put an agreement in place where there would be a minimum amount of social housing on the Woodberry Down estate. Committee members noted that all of the existing local residents were now living in new homes
- The representative for the applicant recognised that the New River element of the proposals was reliant on reaching an agreement with Thames Water, who own and control the relevant piece of land, and also the London Borough of Haringey (land to the north of New River

falls within that borough). The applicant had costed this project as a development cost but the actual cost was not actually very high as the work required a couple of bridges and land was already there. All it required was an additional footpath. It was understood that it was not an expensive project, moreover it was about the ambition to overcome the hurdles e.g. Thames Water land, situated in Haringey. Similar work had already been undertaken on the South side, so the applicant was hopeful that the parties involved would be willing to work together again on this new project.

- New residents on the estate would not be eligible for car parking permit
- As car park usage declined proposals would be put forward to re-purpose the car park areas. These off street parking areas could, for example, be used as storage space
- Parking spaces for visitors would not be provided. Spaces were for existing local residents only
- On the issue of balcony and deck access for the local residents, the representatives for the applicant explained that currently in their proposals there were very little external walkways. They would continue to revise their proposals but any changes could result in issues around reconfiguration of the blocks and also local residents' privacy
- On issues of overheating, work was underway over the next six to eight months on a dual aspect concept for the buildings. The representative for the applicant added that the buildings would also be in a broken building form allowing greater access and views for local residents
- The Planning Sub-Committee members noted that new buildings would have some outside space
- The representative for the applicant confirmed that Woodberry Grove North would not be included as part of these proposals
- Consultants were undertaking studies on the existing building to assess the impact of wind on the area
- The representative for the applicant explained that retention of the existing buildings would be nice, however, they understood from Hackney Council that this would not be economically viable. As for the heating system and making the proposals carbon zero, initial proposals had been based on the principle of a central energy strategy using gas but this had now changed to an air source heat pump
- Discussions on the construction of the buildings were ongoing to decide between either modular or concrete
- The Chair of the Committee spoke at length about the previously agreed position of the Planning Committee, reiterated over many years, that it had agreed S106 monies to narrow the Seven Sisters Road by the widening of the footways to create a tree line boulevard.

This did not mean replacing the bus lane and pavement with bike lanes and bus stop bypasses, but widening the pavement for pedestrians. It was previously minuted that provision was to be provided for cycling with a bus/cycle lane, possibly widened. It was noted that the applicant had always agreed this with the Planning Sub-Committee. Members of the Planning Sub-Committee indicated agreement with the Chair. Deputy Chair Councillor Hanson explicitly stated her concerns about two-way cycle lanes

- The representatives for the applicant explained that there had been engagement with the local Tenants and Residents Association (TRA) throughout the evolution of the proposals. The local TRA were part of a design committee, along with other stakeholders, which was regularly consulted on the proposals.

**Duration of the meeting: 18:30 - 20:00 Hours**

**Chairperson for the meeting:** Councillor Vincent Stops

**Contact:** Andrew Spragg, Governance Services Team Leader  
andrew.spragg@hackney.gov.uk



**MINUTES OF THE PLANNING SUB- COMMITTEE  
HELD ON  
WEDNESDAY, 6 October 2021**

**THIS MEETING WAS LIVE STREAMED AND CAN BE VIEWED HERE:  
<https://youtu.be/Cho2uvx1i3g>**

**Chair: Councillor Vincent Stops**

**Councillors in Attendance: Councillor Katie Hanson (vice-chair), Councillor Brian Bell, Councillor Ajay Chauhan, Councillor Humira Garasia, Councillor Steve Race and Councillor Sarah Young**

**Apologies: Councillor Michael Levy and Councillor Clare Joseph**

**Officers in Attendance:**

- Gareth Barnett, Planning Team Leader**
- Nick Bovaird, Senior Planner, Major Projects**
- Natalie Broughton, Head of Planning and Building Control**
- Catherine Slade, Major Projects Planner**
- Robert Brew, Major Applications Team Leader**
- James Clark, Planning Officer**
- Barry Coughlan, Deputy Team Leader - Major Projects**
- Sara Kulay, Head of Resident Participation TMOs & Cities**
- Ola Akinbinu, Contract Delivery Manager**
- Mario Kahraman, ICT Support**
- Matt Payne, CUDS Deputy Manager**
- Joe Croft , Senior Transportation Planner**
- Leif Mortensen, Senior Landscape and Tree Officer**
- Conor Keappock, Principal Urban Design Officer**
- Natalie Williams, Governance Service Officer**
- Tim Walder, Principal Conservation & Design Officer**
- Graham Callam, Growth Manager**
- John Tsang, DM & Enforcement Manager**

**Christine Stephenson, Planning Lawyer**

**1 Apologies for Absence**

1.1 Apologies for absence were received from Councillors Clare Joseph and Michael Levy.

**2 Declarations of Interest - Members to declare as appropriate**

2.1 Councillor Hanson declared an interest in agenda item 5 - Frampton Park Estate - as she had met with the applicant.

**3. Proposals/questions referred to the Sub-Committee by the Council's Monitoring Officer**

3.1 There were no proposals/questions referred by the Council's Monitoring Officer to the Sub-Committee.

**4. Portico City Learning Centre, 34 Linscott Road E5 0RD Application - 2021/1651 and 2021/1653**

**4.1 PROPOSAL:**

Change of use of the building from Use Class F.1 (learning and non-residential institutions) to Use Class E(e) (commercial, business and service) for use as a health centre. Partial demolition of existing rear two storey extension (stair core) and replacement with two storey rear extension and erection of a two storey side extension with associated means of access, roof-top plant and landscaping.

**4.2 POST SUBMISSION REVISIONS:**

- Amendments to accessible access arrangements in north of site;
- Amendments to the car parking arrangements;
- Additional information provided in respect of the junction between the proposed extension and southern colonnade, details of staff cycle

storage, parking, deliveries, waste storage and electricity sub-station and urban greening factor;

- Revision of Fabric Repair Schedule Drawings, Heritage Statement (incorporating Heritage Appraisal), demolition drawings, Transport Statement and Travel Plan;
- Submission of Building Condition Survey and Structural Inspection Report;
- Amendments to design and access statement to include the amendments and additional information set out above;
- Contribution of £10,750 towards monitoring of the Travel Plan and Construction Logistics Plan and £14,498 towards carbon offset;
- A reconsultation has been undertaken in respect of key revisions to the proposals and amended or additional information other than contributions.

4.3 Catherine Slade, Major Projects Planner introduced the planning application, as set out in the published agenda. During the course of the officer's presentation reference was made to the addendum and the amendments to the submitted report.

4.4 The objectors were invited to speak and the following concerns were raised:

- They indicated that the residents supported the concept of a new medical centre however they requested that the Sub-Committee defer the planning application to allow the applicant to review the design taking into consideration the concerns of the residents of Powerscroft Road. The application had also understated the long-term negative cumulative impact of the development on residents and local community;
- Concern was expressed about the size and height of the development, issues relating to symmetry and position within the site, impact on residential amenity of surrounding properties, loss of light, overshadowing, loss of privacy, loss of trees, rooftop plant machinery, boundary issues, close proximity to their windows and rear garden of 3.6 metres, noise and general disturbance;
- The proposed construction of a medical waste facility and electricity substation close to Powerscroft Road would have a detrimental impact on residents' health and wellbeing. It was proposed that the facility and substation could be built north of the site, which would cause minimum impact;
- They had expressed a preference for design option 3 at the pre-application stage but were advised it would be financially unviable;
- The viability survey that had been requested at the pre-application stage for the current proposal had not been submitted. There were also no viability assumptions for the alternative options or any

transparency regarding the selection of the design for a publicly funded scheme; and

- They argued that other factors such as the long-term impact of the proposal on local residents and community should have been taken into consideration and not primarily the viability assessment.

4.5 Councillor Rathbone was invited to speak at the meeting and the following concerns were raised.

- There had been an increase in the construction of flats in the area without any consideration for the infrastructure;
- Concern was expressed that the development was within close proximity to Powerscroft Road residents' rear gardens, too large in scale and an eyesore from the rear gardens that would significantly impact on residents' daily lives;
- There was a demand for a new GP surgery in the area but this was an inappropriate site and should not be built to the detriment of residents;
- Residents of Powerscroft Road had expressed concerns about the impact of the proposal including overlooking and loss of light to the rear of the properties and that more consideration should be given to the present day setting and enhancing rather than replicating the original footprint;
- The proposed design was unsuitable and a review was necessary to achieve a positive outcome for all parties;
- Concern was expressed that the NHS should not be burdened with the hidden cost of paying for English Heritage's maintenance costs of this site;
- The applicant had not outlined the reasons for rejecting preferred Design Option 3; and
- Concern was expressed that the building could remain on the Heritage at Risk Register under the current proposal.

4.6 The Planning Sub-Committee heard from the applicant's consultant Jonathan Bainbridge and Councillor Christopher Kennedy. The following key points were raised:

- The planning application proposed a medical facility that would allow the Lower Clapton Medical Centre to be relocated to a larger new state of the art health facility that would be inclusive and accessible to the public. It had been designed in conjunction with the doctors to meet the surgery and its patients' need for the next 30 years;
- The Portico site had been the most appropriate site geographically and also an underdeveloped inner city site that could benefit from a health facility rather than residential development;
- The design proposal had been the most sympathetic to the heritage building and the only financially viable solution due to the constraints of the listed building and NHS requirements;

- The proposal would ensure that the Portico was brought back into active use and the building maintained, and removed from the Heritage at Risk Register. It would also provide an opportunity to inform local residents of the history of the building and safeguard its long-term future;
- The proposal was in compliance with the planning policies and the National Planning Policy Framework to deliver sustainable developments that did not adversely affect residential amenity. Any building on this site would be oppressive, however, the health centre would be of significant public benefit to the wider community;
- The proposed scheme had been designed to incorporate flexibility for future growth and would allow the surgery to focus on providing the best quality of primary care to the residents of Hackney resulting in direct and indirect benefits;
- The project was anticipated to be cost neutral, with the Council initially borrowing to build the surgery and the NHS guaranteed to occupy for 20 years. The initial scheme of repair would not be a financial burden on the NHS;
- Officers and the Design Team had worked together to minimise the impact of the proposal on the Grade II listed building;
- The applicant, the Design Team and architect had engaged with local residents to address the impact of the proposal on residential amenity and the mitigations were outlined at paragraph 6.4 of the report including reducing the visual impact of the rooftop plant and relocating the patient garden to minimise disturbance to residents. There were now no unacceptable impacts from the proposal;
- It was emphasised that ‘a private right to a view’ did not fall within the planning regime;
- Management plans would be produced and a manager employed to minimise disturbance from the activities to be carried out on the boundary in particular during the construction phase;

4.7 Timothy Walder, Principal Conservation and Design Officer, briefly summarised the history of the building, the harms caused by the proposed development and the public benefits. The Portico originally opened in 1825 as an Orphan Asylum and had many uses throughout its history. The surviving entrance portico and north and south colonnades were a fragment of a historically larger building. In terms of harm to the building, there would be no loss of historic fabric. However, the harms included an asymmetrical development (due to the nature of the site, which is narrower on the north side); the partial obstruction of views through the south colonnade by new development set behind the courtyard; and a ramp which would be installed for people with mobility issues to access the building. The public benefits included bringing the whole building back into use; this would ensure that the building would be maintained for the foreseeable future and removed from Heritage at Risk Register; and a scheme of heritage interpretation to explain the history of the building to the public. In terms of the setting, the

most significant views were from the front of the building on Linscott and Lower Clapton Roads.

4.8 The Senior Landscape and Tree Officer stated that the trees on the boundary including four Sycamore trees, Plane tree and the life expectancy of these trees based on grade of the tree. Grade A had a life expectancy of 40 or more years and Grade B was 20 or more years.

4.9 During the discussion phase of the meeting a number of points were raised including the following:

- The Chair stated in his opinion this was a folly associated with educational use. The Major Projects Planning Officer stated that the building had been used for many purposes previously and finally for educational purposes;
- With regard to the symmetry issue and option 3, the applicant's representative stated there was insufficient space at the north site for the scale of the building to meet GPs requirements and there were two significant trees that would be impacted. Option 3 had not been feasible due to the heritage impacts, which were considered to be more harmful than the proposed design and it would also not meet the operational requirements of the NHS and GP Surgery. In addition, the additional costs would have made the project undeliverable;
- The Chair asked whether consideration had been given to replicating the south of the colonnade to the north of the colonnade. The Principal Conservation and Design Officer replied that he had asked the applicant to explore achieving some symmetry but he had been advised that due to the clinical environment and budget constraints imposed by the NHS District Auditor option 3 would cost an additional £800,000 and destroy the viability of the scheme
- Councillor Rathbone clarified that he believed that the proposed design was inappropriate for the site;
- With regard to the location of the electricity substation, the applicant's representative stated this had been incorporated into the design during the design development process and was permitted under development rights. The sub station could potentially be relocated but there would be no benefits to residents as it did not cause any disturbance. The Major Projects Planning Officer added that the sub-station had been introduced as an element after the scope of the application had been finalised and its location was indicative at this stage and a planning application would be submitted following the start of works;
- In response to concerns regarding the visual impact and noise from the rooftop plant, the Major Projects Planning Officer replied that the rooftop plant consisted mainly of air source heat pumps enclosed by attenuation screens, which had been the subject of a noise

assessment undertaken by Environmental Health. Most air source heat pumps did not make much noise. She confirmed that Environmental Health had expressed no concerns regarding the noise levels at the rooftop plant or made representations to the application. The entire rooftop plant would not be visible from the front elevation;

- The Senior Landscape and Tree Officer replied that the plane tree would be lost, which was a Grade A tree but more trees of a substantial size would be planted along the boundary and had been included at Condition 8.1.17 within the report;

4.10 The Chair expressed concern at the proposed design and in particular the symmetry issues with the design, which had not been addressed and a lack of planning considerations. The Chair proposed to defer the application to allow the applicant and architects to attend the next meeting to explain the design in planning terms including reasons for not addressing the symmetry issues in the development.

Vote:

For: Cllrs, Chauhan, Hanson, Garasia, Young and Stops  
Against: Cllr Bell  
Abstention: None

**RESOLVED:** That this item be deferred to the next meeting.

(Councillor Hanson left the Council Chambers and Cllr Race joined the meeting at this juncture.)

**5 Frampton Park Estate, Frampton Park Road, E9 7PF - Application 2021/1065**

5.1 **PROPOSAL:** Demolition of the existing Frampton Park Community Hall and estate cleaning depot to rear; demolition of disused parking structure on Wooldridge Way; additional works associated with site clearance. Construction of 69 mixed tenure residential dwellings within two new blocks, one of part 4 and part 7 storeys and one of 8 storeys, and within the undercroft area of Tradescant House. Landscape and public realm improvements within the site boundary including provision of play space and reorganisation of existing car parking.

**POST SUBMISSION REVISIONS:**

- There have been minor design amendments made to the application post-submission in order to address Secure by Design comments - these are primarily related to internal and external access arrangements.



- Some additional detail has also been added to the ground floor facade of the north elevation at Planning Sub-Committee – 06/10/2021 the Atrium building in response to officer feedback. Given the nature and extent of these amendments, a re-consultation has not been considered necessary. The amended drawings have been available to view online in advance of the publication of this report.
- Some additional information has also been submitted in relation to the loss of the community hall, principally in relation to the hall usage and the services that were once provided. The additional information does not propose any changes to the application or the means of mitigating the loss of the hall. As such, it is not considered to warrant a re-consultation. The information has been available to view on the Council's website since its submission on 29/07/2021.

5.2 Barry Coughlan, Senior Planner of Major Projects, introduced the planning application as set out in the published agenda. During the course of their presentation reference was made to the published addendum, which outlined amendments to the residential mix table, conditions, additional objections and responses to objections. The Community Uses Report had demonstrated that the Frampton Park Community Hall(Community Hall) was underused and on average was in use three and a half hours a week. Details were also provided in relation to spare capacity at nearby Pitcairn and Elsdale Halls. The proposal before members was to relocate activities from Frampton Park Community Hall to Elsdale Hall as it had sufficient capacity and was close to the proposal site. A contribution of £250,000 was also to be secured towards repairing, renovating and extending the hall.

5.3 Councillor Clare Joseph, objector, was invited to speak at the meeting and her objection was set out the addendum and summarised below:

- This proposal contradicted the policy at 5.1.5 in The London Plan regarding the loss of community infrastructure having a detrimental effect on a community and on this basis the application should be refused;
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- Referring to paragraph 6.09 within the report, it was argued that Community Hall was in daily use by Hackney Quest and bingo club and it was not an unused space. The underuse had been due to residents no longer being able to book the hall as it had been removed from the online list, the telephone booking number on the main entrance was not answered or residents were told the hall could not be booked due to noise complaints and finally the rise in hire rates to £376 a day;
- 
- Before demolishing the building, the Council should consider bringing underused facilities back into use as stipulated in the



London Plan and by reducing hire rates more interest could be generated in the Community Hall;

- 
- Elsdale Hall was approximately 100 sq metres in comparison to the Community Hall, which was 451 sq metres. The hall also had issues with asbestos, vermin, a poorly designed entrance, could not hold more than one event at a time and was inappropriate for youth activities. The £250k funding to refurbish the hall would be insufficient to develop Elsdale Hall into a comparable community hall and no measurements of the Elsdale Hall had been provided in the report. The estate had more than 3,000 residents and proper facilities were needed to guard against the unnecessary loss of valued facilities and services;
- Concern was expressed that the Council had not actively marketed the Community Hall for a year and the hall was needed in an area that experienced problems with youth crime and exploitation;
- She disagreed that there were no equality issues and argued that the most underprivileged members of society that could not access or afford the new shops and bars in the borough relied on this community provision and the loss would affect community members with several protected characteristics in Hackney;
- A further concern had been the design of the Atrium building and the 13 metres separation distance from the neighbours, which would spoil the character of the estate. It would be self-enclosed and a gated open space that other residents would not be able to use or enjoy;
- It was highlighted that as the population at Frampton Park increased as result of this development there would be more demand for community spaces in the future. It had been very rare for a TRA to strongly object to a council led scheme; and
- It was suggested that the applicant return with an increased offer for a replacement community facility.

5.4 Councillor Penny Wrout, objector, was invited to speak at the meeting and her objection was set out the addendum and summarised below:

- Frampton Park was Victoria Ward's largest estate and had seen a lot of housing expansion over the last decade causing disruption to residents. This application went part way towards an overarching improvement plan for Frampton Park estate but failed in the provision of the Community Hall, which was necessary for the long-term well-being of a thriving community;
- She expressed concern whether the application truly met the standards required by the policies in the Local Plan and London Plan regarding community facility replacement and challenged the claims justifying the loss of the Community Hall in the Community Uses Report as incorrect. It had been difficult to gauge actual demand as bookings to the Community Hall had been restricted.

Since Hackney Quest had left the Hall in 2018 the youth activity on the estate had reduced from every weekday night to just Friday nights at the Baptist Church. The report also did not consider the day-time activities that Hackney Quest had run such as the popular lunch clubs for the elderly;

- All three community halls on the estate had been historically underused and not fit for purpose. The Frampton Park Community Hall had an inaccessible main space with no lift and the Elsdale Hall was cramped, run down and damp. Pitcairn was dark and sited in the basement of a large block where noise and safety issues restricted its use;
- The £250,000 towards renovating the Elsdale Hall would be insufficient for the works needed and would leave Frampton Park with one functional smaller community space for an expanding community. The construction of 69 extra flats would result in significant population growth on the estate and increased demand for community space. A modern eco-friendly space like Morningside Hall was needed which could accommodate more than one activity at a time; and
- She had worked with the Council to look at options including a new building and the costs ranged from £450,000 to £1.3m depending on the size with alternative funding sources from the TRA and Council money as match-funding to provide an appropriate community space. The TRA could assist with funding for outdoor works.

5. 5 Samantha Lloyd and Kristina Sackett the objectors, were invited to speak at the meeting and their objection was summarised below:

- There had been no consultation with residents about the demolition of the Community Hall and it had not been explained how the hall had been selected as it was not underused, derelict or structurally unsafe. The Community Hall provided help and support to the local people including young, disadvantaged and elderly residents. The proposed hall would be inadequate for the residents on the estate and it was a requirement of the Housing Supply Programme to replace community infrastructure with like for like or better facility;
- The proposed development would have a detrimental impact on the residents living in the vicinity of the flats including a loss of light, social exclusion and division in the community from the gate development, a 24 hour play street would encourage anti-social behaviour and adverse impact on health and wellbeing; and
- The upgrading of existing facilities and community provision across the estate was necessary to maintain community cohesion and the proposed contribution should be replaced by a commitment to provide a larger community facility for the residents on the estate to share with future residents from the development.

- 5.6 Chris Trowell, Director of Regeneration, the applicant's representative was invited to speak in support of the application. In 2021, 16 families living on the Frampton Park Estate had moved into newly built social rent homes and many families in urgent need of alternative homes were waiting for the same opportunity. Despite the challenges of the pandemic and Brexit, the Council would be delivering on its affordable housing commitment within the Housing Supply Programme and had undertaken an extensive consultation exercise with residents and stakeholders on the proposed development. The loss of social infrastructure such as the Frampton Park Community Hall may be permitted under the London Plan and a justification for the loss had been set out within the Community Uses report including underuse. The proposals for Elsdale Hall would ensure an improved and better quality community space for local residents. The Frampton Park estate also benefited from five community facilities within 500 metres of the site including three community spaces on the estate with Elsdale Hall being approximately 140 metres from the Community Hall. Elsdale would provide all the activities offered at the Community Hall and the £250,000 investment would be used to improve the existing spaces and make the hall fit for purpose.
- 5.7 The Chair expressed concern that the proposed funding would be insufficient to cover the full cost of the proposed works for Elsdale Hall.
- 5.8 Judith Loesing, the applicant's architect outlined the proposal for upgrading the Elsdale Hall including extending the floorspace in the hall from 40.7sqm to 64.3sqm, garden from 339.2sqm to 525.4sqm and larger offices, upgrading the kitchens, and better insulation of the premises. The applicant's representative added that the proposal for the hall submitted at the meeting had been practical in terms of fulfilling the functional requirements of the space, costed and deliverable within budget. The actual costs would be known when the contract was being tendered.
- 5.9 The Chair indicated that a stronger planning obligation was needed to ensure delivery of the scheme presented at the meeting rather than a monetary contribution.
- 5.10 The Senior Planner of Major Projects Officer confirmed that the head of term could be amended to specifically list the works described in the plan presented at the meeting and incorporated into the legal agreement to ensure works undertaken within a specified timeframe. The applicant's representative indicated that further consultation on the plan would have to be undertaken with residents, which had been a challenge due to the pandemic.

5.11 During the discussion phase of the meeting a number of points were raised including the following:

- With regard to the gated nature of the Atrium building, the Senior Planner of Major Projects Officer clarified that restricted access did not necessarily turn the development into a gated community and that access had been restricted due to the nature of the building and police's concerns relating to crime in the building. To achieve the Secure by Design Accreditation there had to be controlled access to the shared amenity space and access point in the atrium of the building, which was also intended to generate positive community spirit. There would be significant provision of public realm elsewhere within the development;
- The applicant's representative stated that the budget had been based on the Quantity Surveyor's estimated costs for the scheme of works proposed for Elsdale Hall;
- In relation to fewer larger social rent accommodation on the estate, the applicant's representative replied that very few four-bedroom social rent accommodations were being built in the country partly due to the government tax on these properties. The Council's housing figures had been affected by the cyber attack and the figures would be revised again before the scheme was completed. The Council would be mapping the proposed need against the housing needs on the estate to ensure properties were allocated to social tenants at the top of the waiting list. ;
- A Member enquired whether the Council had considered increasing the social rent accommodation by reducing shared ownership. The applicant's representative replied that social rent was the most expensive accommodation to deliver in terms of viability and the scheme presented could not be delivered if the number of social rented units were increased. There were 14 households classed as being in urgent need of alternative accommodation with two tenants requiring a four-bedroom property, one tenant a five bedroom and seven requiring one bedroom accommodation;
- With regard to the suggestion to build a new bigger and better community hall from additional funding raised through the TRA and other sources, the applicant's representative stated that it may not be feasible and also the scope being unclear may make it unachievable;
- In response to a question about the number of community spaces on the estate, the Head of Resident Participation TMOs & Communities confirmed that there were five community halls within 500 metres of the development. The Pitcairn, Elsdale and Frampton Park community halls were on the estate and council owned, and the New Kingshold and Gascoyne Community Halls were not on the estate;

- The Head of Resident Participation TMOs & Communities explained that Frampton Park Community Hall was large with capacity to hold weddings and large parties. However, due to the persistent noise nuisance complaints from local residents relating to dispersal and music and the failure of measures in reducing noise levels the decision had been taken for the hall in the evenings. This had made it unattractive for people to hire the hall and the current activities included exercise classes and coffee mornings that attracted a maximum of 25 people;
- Kristina Sackett highlighted that Hackney Quest had used this Community Hall to offer youth services and events for youths and vulnerable people on the estate including food kitchen and coffee mornings. The Council's lack of monitoring those hiring the hall had led to an increase in noise complaints and subsequent restrictions had resulted in the hall being underused. It was emphasised that the proposals were for improving and not replacing the demolished hall. The Senior Planner of Major Projects Officer added that evidence had been submitted of Hackney Quest's use of the hall before their departure due to the introduction of the Council's charging fee policy for halls, which had made it financially unviable for them to remain. The Council officer added that the policy had been introduced to offset the cost of operating and maintaining the Council's 58 community halls and 23 community flats and rooms costing £900,000 per annum. The fees for private use of the hall were £30 per hour and meeting rooms £10-15 per hour. The Council had supported and facilitated Hackney Quest's transfer to Baptist Church following the introduction of the policy;
- With regard to providing security for the cycle store, Joe Croft the Senior Transport Planner advised that he would be reviewing the proposal as part of the Cycle Management Plan to ensure the cycle parking was adequately spaced, accessible, and the locking provided a safe and secure provision. As part of the review he would also look at installing CCTV cameras under LP42 - to provide a safe and secure cycle parking. The applicant's representative advised that they had agreed to provide ducting for future CCTV installation; and
- Councillor Penny Wrouth requested that consideration be given to focusing the £250,000 funding on making the indoor space fit for purpose and working with the TRA to raise funds for the outdoor space.

5.12 The Chair requested the Head of Term related to the extension and renovation of Elsdale hall be amended to set out the works to be undertaken rather than the budget to be allocated.

Vote:

For: Cllrs Chauhan, Bell, Race, Young and Stops  
Against: None  
Abstention: None

**RESOLVED: That planning permission be GRANTED subject to conditions.**

(Councillor Hanson returned at this juncture of the meeting.)

**6 1-10 Purcell Street, N1 6RD Application-2021/1385**

**6.1 PROPOSAL:**

**Replacement of the existing timber windows with UPVC windows on the front and rear elevations.**

**POST SUBMISSION REVISIONS:**

The proposed elevations and design and access statement were modified to clarify that the proposed replacement windows will be Rosewood in colour to match the existing brown windows. No further consultation letters were sent given the lack of material changes to the proposal.

6.2 The Planning Officer James Clark introduced the report as set out in the published agenda and indicated that the application had been deferred from the previous meeting. During the Planning Officer's presentation the following points were made:

- The surrounding area of the proposal comprised mixed dwellings including mainly post war housing blocks;
- It was proposed that the timber windows would be replaced with UPVC Veka Matrix 70 tilt and turn windows;
- The communal windows and doors would not be replaced with UPVC as this would not be appropriate for a building with no significant architectural merit or within a conservation area; and
- There were no issues with the loss of light, overlooking or privacy.

6.3 Hugo Ray, the objector was invited to make a statement and the following concerns were raised:

- The windows formed part of a large timber structure that also had wooden doors and external cladding. It would not be possible to



replace the timber windows without replacing the surrounding structure and the current proposal would defeat the purpose of heat retention within buildings;

- The proposals would result in a mixture of wood and plastic, and the UPVC windows would not fit the aesthetics of the building;
- The replacement windows could not be flipped to clean them from inside the flats;
- It was unclear whether the apertures of the replacement windows would impact on the light coming in the flats;
- Concern was expressed regarding the negative environmental impact of replacing functioning windows with UPVC;
- The residents within the block and neighbouring blocks were also opposed to the proposal.

- 6.4 The Chair sought further clarification regarding the replacement windows. Ola Akinbinu, Contract Delivery Manager explained that the timber windows had been installed in 1988 and following representation from the tenants living on the top floor, the Council had considered many replacement options including timber, aluminium and UPVC windows. It was more cost effective to replace the windows with UPVC, which also required less maintenance by leaseholder as well providing energy efficiencies for leaseholders/tenants heating bills. The UPVC windows would be in Rosewood colour so that the appearance of the buildings did not contrast with the remaining timber structures and windows.
- 6.5 The Chair asked about the concerns relating to the aesthetics, in particular the combined timber and UPVC in the external areas and other elements of the building. The Planning Officer replied that there had been a slight increase in the dimensions of the UPVC window but this was not expected to result in any substantial loss of light.
- 6.6 The Chair enquired about the sustainability issues and the Planning Officer emphasised that the use of UPVC would be regarded as more sustainable due to the increase in thermal efficiency in the development and improved heating inside the buildings. In addition, there would be cost savings from not having to regularly maintain the timber windows such as repainting and scaffolding.
- 6.7 The Planning Officer confirmed that the proposed windows could be cleaned.

Vote:

For: Councillors Stops, Bell, Chauhan, Hanson, Race and Young  
Against: None  
Abstention: None

**RESOLVED: That planning permission be GRANTED subject to conditions.**

**7 Legrave Street, Off Chatsworth Road, E5 9QX - Application 2021/1747**

**7.1 PROPOSAL:**

Submission of details pursuant to condition 3 (Materials, Detail drawings, boundary treatment and play area) of planning permission 2014/4092 dated 15/08/2016.

**POST SUBMISSION REVISIONS:**

Amendments have been made to the detailed drawings of the balconies and louvred oriel windows in response to officer feedback. This led to a re-consultation with Design Officers but not with neighbours, since this type of application does not require neighbour consultation.

**7.2 The Planning Service's Major Projects Planner Nick Bovaird introduced the report as set in the published agenda and reported that the minutes of the meeting of the Planning Sub Committee held in 2014 were unavailable due the Council's cyber attack. During the course of the presentation reference was made to the published addendum and the following points were highlighted:**

- Paragraph 2.1 incorrectly stated that the site was not located within a conservation area but the site was located within the Lea Bridge Conservation Area, which had been extended on 24th February 2020. The site had been outside the conservation area at the time of the 2016 consent and therefore paragraph 2.1 should be amended to read: 'The site is located within the Lea Bridge Conservation Area but does not lie within the setting of a listed building.'
- An additional paragraph 6.8 to be inserted to read: 'In all respects, the materials and submitted details are considered to preserve the character and appearance of the conservation area.'
- The balcony details submitted showing glass balustrades to the south western elevation of the proposal had been changed to railings following recent changes to the Building Regulations in respect of fire safety. Therefore paragraph 6.4 should be amended to read: 'Following amendments to improve the detailing of the balconies during the course of this application, including the substitution of glass balustrades for railings on the south west (Chatsworth Road) elevation, these are considered acceptable.'



- The boundary treatment was also considered acceptable and the proposed material and detailing were high quality and in compliance of the original consent.
- Three pieces of play equipment would be provided for the play area on the western side of the development and the paving would be hard wearing basalt laid in a herringbone pattern and this was considered acceptable.
- The projecting bays had a slightly thicker surround than the approved design. This amendment had been required due to the support and insulation for the bays and the amended design was accepted.

7.3 There were no persons registered to speak in objection to the application.

7.4 The Chair sought clarification regarding the boundary treatment and the Major Projects Planning Officer explained that the boundary wall would have gates in various places.

Vote:

For: Cllrs Bell, Chauhan, Hanson, Race and Stops  
Against: None  
Abstention: None

**RESOLVED:** That the condition be discharged.

## **8. Delegated Decisions**

8.1 The Planning Sub-Committee noted the document.

**RESOLVED:** That the Planning Sub-Committee noted the delegated decisions document.

**Duration of the meeting: 18:30 - 22:00 hours**

**Chairperson for the meeting:** Councillor Vincent Stops

**Contact:**

Rabiya Khatun  
Governance Services Officer  
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**DRAFT MINUTES OF THE PLANNING SUB- COMMITTEE  
HELD ON  
WEDNESDAY, 7 July 2021**

**THIS MEETING WAS LIVE STREAMED AND CAN BE VIEWED HERE:**

<https://youtu.be/HI-2MfMvUJ4>

- Chair:** Councillor Vincent Stops in the Chair
- Councillors in Attendance:** Councillor Brian Bell, Councillor Ajay Chauhan, Councillor Katie Hanson (Vice-Chair) and Councillor Steve Race
- Apologies:** Councillor Humaira Garasia, Councillor Clare Joseph, Councillor Michael Levy and Councillor Sarah Young
- Officers in Attendance:** Kim Aukett, Planning Case Officer  
Nick Bovaird, Senior Planner, Major Projects  
Robert Brew, Major Applications Manager  
Natalie Broughton, Head of Planning and Building Control  
Graham Callam, Growth Manager  
Seonaid Carr, Central Team Leader  
Mario Kahraman, ICT Support  
Conor Keappock, Conservation, Urban, Design and Sustainability  
Louise Prew, Senior Planning Officer  
Qasim Shafi, Principal Transportation Officer  
John Tsang, DM & E Manager  
Andrew Spragg, Governance Services Team Leader  
Sam Woodhead, Planning Lawyer

## **1 Apologies for Absence**

- 1.1 Apologies for absence were received from Councillors Humaira Garasia, Clare Joseph, Michael Levy and Sarah Young.

## **2 Declarations of Interest - Members to declare as appropriate**

- 2.1 Councillors Race and Stops declared an interest in relation to agenda item 5; they had received correspondence from various interested parties, which they had passed on to the Planning Service.

## **3. Proposals/questions referred to the Sub-Committee by the Council's Monitoring Officer**

- 3.1 There were no proposals/questions referred by the Council's Monitoring Officer to the Sub-Committee.

## **4. Minutes of the Previous Meetings held on 2 June 2021**

- 4.1 The Planning Sub-Committee agreed the minutes of the meeting held on 2 June 2021 as an accurate record of those meeting's proceedings.

**RESOLVED, the minutes of the meetings held on 2 June 2021 were agreed as a true and accurate record of proceedings.**

## **5 2020/3839 16 Orsman Road, Hackney, London, N1 5QL**

- 5.1 PROPOSAL: Demolition of existing buildings on site and erection of a part 5, part 6 storey building comprising office floorspace (Use Class E); a flexible unit at ground floor level (Use Class E); and provision of associated waste storage, cycle parking, balconies, roof and rear terrace sand plant.

### **POST SUBMISSION REVISIONS:**

The Fire Strategy and BREEAM pre-assessment tracker reports were submitted after consultation. Alterations to the ground floor and roof terraces were also made after consultation. Due to the minor nature of these changes, consultation was not required.

- 5.2 The Planning Officer introduced the application, as set out in the papers. During the course of their presentation, reference was made to the published addendum which highlighted additions and amendments to the application report.

- 5.3 Objectors to the application spoke next, raising a number of concerns over the impact of height and massing of the proposals and also its potential to lead to a lack of light and loss of amenities. Objectors were also concerned about an apparent lack of consultation and the impact of the proposals on the local ecology with the loss of an existing vegetated bank.
- 5.4 The applicant spoke of how the site was in a designated priority office area and that the proposals would include policy-compliant affordable workspace. The proposals were considered to be of a high quality and were of a positive benefit to the local townscape. The application would result in a biodiversity net gain and would not encroach any nearer to the canal. The proposed building had been pulled back so that local residents could enjoy good levels of daylight and sunlight.
- 5.5 During the discussion phase of the meeting a number of points were raised including the following:
- On the issue of massing, it was clear that neighbouring buildings, compared to the proposed site, were five stories in height, their emphasis was on a wide footprint. The character of the north side of the canal was more homogenous while the south side had more variation in its roof line. The application's massing was broken down by the vertical emphasis on the northern facade which was split up into three bays. Also the plant, as consequence of the proposals, was now more integrated into the overall design
  - On the issue of the accuracy of the daylight and sunlight impact report, the Planning Service was of the view that the figures in the report were considered acceptable and that all the windows in relation to the neighbouring Mandarin Wharf, for example, had been taken into account. The applicant added that in their daylight and sunlight report they had included all the indentations in the Mandarin Wharf building. It was noted that the changes in the different windows were quite sensitive to the proposed building being pulled back from the canal
  - Following the pre-application process and an application affected by the cyber attack, the proposed building's emphasis was on a northern elevation sectioned into ribbons with hung balconies which characteristic canalside architecture. The materiality of the proposed building was varied in keeping with the surrounding area with a corrugated system which was secured by a materials condition
  - Amendments to the external lighting condition in the addendum should address local residents concerns about lighting
  - There were roof terraces on the fifth floor of the proposed site. They were restricted to use up to 20:00 hours every day. The

terrace had also been pulled back away from the local residents

- There would be some pruning of the Tree Preservation Order (TPO) trees as part of the construction process
- An ecological management plan was to be produced which would include recommendations identified at the preliminary stage of the ecological proposals e.g. floating habitats. The bank at the bottom of the TPO trees would be retained. Objectors were concerned that planting to the north would be lost and the new planting would take longer to grow and lead to less wildlife. The applicant replied that the original habitat/bank would be retained as well as a proposed floating habitat. They were of the view that any shading created as a result of the new structure would not have a detrimental effect on the biodiversity of the canal because there would be additional habitat in a better location
- Any new structure would create some overshadowing, but the Planning Service was of the view that this would be mitigated by the proposed ecological improvements. There was a presumption that the proposed floating habitat would be in proximity to the existing building and in consultation with the Canal and River Trust and local ecologists
- An Affordable Workspace Statement would further detail where the affordable workspace would be located in the proposed building and how it would be managed. It was 10 percent at 60 percent market rent
- The commitment to the new habitat being 50 metres from the proposed building was reached following consultation between the applicant and local ecologists
- There was a condition in place to ensure maintenance of the proposed green wall
- The Planning Service were content with the lighting that had been proposed
- On the issue of the loss of privacy to the top floor flat of Kleine Wharf, the Planning Service acknowledged that, because of the position of the windows, there was an issue however this was due to the neighbouring building being a poor neighbour
- Closed Circuit Television (CCTV) was absent from the cycle storage area as it was located internally in a reception area of the proposed structure and therefore the Planning Service considered it to be fairly secure

Vote:

For: Councillors Bell, Chauhan, Hanson, Stops and Race  
Against: None  
Abstention: None

**RESOLVED, planning permission was granted subject to conditions and completion of section 106 legal agreement.**

The Planning Sub-Committee took a five minute break.

## **6 2020/3507 Land at Wilmer Place, Stoke Newington, London N16**

6.1 PROPOSAL: Erection of a building of up to four storeys comprising 30 residential units (Use Class C3); and associated development including a landscaped courtyard, living roofs, car parking spaces and cycle and refuse stores.

POST SUBMISSION REVISIONS: Amended viability offer: 10 Affordable Homes (eight originally proposed). Reconsultation on the basis of the new viability offer.

6.2 The Planning Service's Senior Planner, Major Projects, introduced the application, as set out in the papers. During the course of their presentation, reference was made to the published addendum which highlighted additions and amendments to the application report.

6.3 A local resident spoke first, highlighting that the application needed to respect existing legislation protecting biodiversity. They felt that the design of the proposals was detrimental to the area, with glass not being compliant because it was a reflective surface. There were also concerns raised over the height of the proposals which had exceeded the height of the treeline and were at risk of breaching guidelines. Also because of the height of the proposed building, it would need to go deeper underground, leading to greater interaction with the network of roots of the surrounding trees. The objector reiterated the need for the developer to be compliant in relation to the biodiversity in the area and any potential negative impact as a result of sound and light levels emanating from the proposed building.

6.4 The applicant was present at the meeting but did not wish to speak.

6.5 During the discussion phase of the meeting a number of points were raised about the application including the following:

- The Chair of the committee reminded the committee members that the massing on site was overall no greater than the committee had accepted before. It would be difficult for the committee to row back on the massing without good reason
- The proposed application would include a number of features that would help to address some of the issues raised by the objector e.g. low transparency glazing and aluminium louvres on the stairwells

- The rear of the development backed on to soft landscaping and the Planning Officer confirmed that a landscaping condition included as part of the application
- 'Hit and miss' fencing allowed wildlife to pass through the gaps unheeded
- The Planning Sub-Committee were keen that there was condition in place ensuring the landscaping adjacent to Abney Park
- The £25,000 contribution was specifically allocated for any works to be undertaken on the boundary wall with Abney Park Cemetery
- The Chair stressed the importance that the committee was consistent with any decision that it made. The Planning Service had undertaken a lot of work to get the viable affordable housing component of 30 percent. Early and late stage reviews were conditioned as part of the application
- The recent ministerial statement regarding First Homes was a material planning consideration and would need to be considered against Hackney's Local Plan and the wider London Plan which identified housing need in the borough. In the case of the application, the affordable housing offer had been meant. The Committee noted that the proposals were policy compliant in relation to affordable housing
- The Planning Service emphasised that there was an external lighting condition, and as mentioned previously there was low transparency glazing and aluminium louvres on the stairwells that would seek to reduce the amount of light spill onto the park
- Regarding Transport of London's (TfLs) comments on the Car Club, the Council's Principal Transportation Officer explained that TFL's opinion was likely based on the red line boundary which was not the norm in Hackney and given the site's location off the public highway the transport team felt it was a satisfactory location. It was suggested that TFL may not have considered non-Controlled Parking Zones (CPZs) when reaching its decision. What was proposed was in order to discourage the use of private vehicles. On site currently there were 12-15 private cars parked at any given time. The proposals sought to eradicate that issue. The committee noted that this was an incentive to encourage a Car Club only when required and the committee was still supportive of the Car Club, despite TFL's view
- There was cycling parking throughout the scheme, however, the Planning Service were of the view that CCTV was not required as it was relatively secure. The applicant added that if the committee wanted to include a condition for CCTV to be installed then they would not disagree. The Chair



recommended that an informative be included regarding the installation of CCTV

- There was no playspace because the site did not reach the threshold for a policy requirement to provide playspace and the constraints of the site did not suggest a suitable location for it
- As part of LP33 there was requirement for both residential and non-residential developments to have decent digital connectivity
- The Planning Officer highlighted that Issues around overlooking and Anita House had been addressed in the application
- There was no condition requiring public access to the site. Planning permission would be needed if gates were to be installed on site
- The committee agreed that condition 6, in relation to the removal of Permitted Development Rights (PDR) should include the removal of the PDR to provide gated access. This would ensure access to the car club space by members of the public and access to the existing 'Cotton Exchange' development
- The Chair reiterated that the committee had agreed to an informative ensuring soft landscaping associated with the boundary. In the past the application. had described these types of areas as a 'woodland edge'. The Planning Committee now wished to see the soft landscaping retained to provide habitat. The Chair also reiterated that the committee had agreed to an informative for the installation of CCTV

Vote

For: Councillors Bell, Chauhan, Hanson, Race and Stops

Against: None

Absentation: None

**7 2020/3710 70 Osbaldeston Road, London, N16 7DL**

7.1 PROPOSAL: The excavation and extension of the existing basement to create a two bedroom flat at basement level. The proposal includes front and rear light wells and alterations to the front stairs leading to the basement. New windows are proposed in the side wall at the rear of the building. Cycle parking and bin storage are proposed in the front yard.

POST SUBMISSION REVISIONS:

- The number of bedrooms has been reduced from three to two
- A cycle store has been added at the front of the property.

No reconsultation was undertaken following the receipt of these amendments as the development has not been materially altered and

details of the cycle storage would often be considered via an approval of details application.

- 7.2 The Planning Officer introduced the application as set out in the papers. During the course of their presentation reference was made to the published addendum which highlighted additions and amendments to the application report.
- 7.3 A local resident spoke first, raising three areas of concern. Firstly, the road was in a conservation area and it was felt that this should protect local residents in the area from overdevelopment represented by this application. The application was felt would result in an unacceptable increase in square footage and there were concerns raised about the installation of air conditioning, which did not appear to be included in the planning application. Secondly, there was an assertion made that the planning application process was somehow being manipulated. A previous application, approved in late 2019, was cited as an example of disruption, dust and noise to the local area. A subsequent enforcement notice had led to the building works being left incomplete for the past four months. A new application, according to the objector, had been submitted but the square footage did not appear to have changed. Thirdly, there was concern that the application would set a precedent for future proposals and it was understood that at least two other future applications on the road were proposed. Local residents were not hopeful that planning guidelines would be adhered to resulting in months of chaos and ongoing disputes damaging community relations.
- 7.4 The applicant began by stating that it was regrettable that some local residents were upset about the proposals. It was understood that there was a lot of anxiety around planning applications and it was hoped that if the application was granted that everyone could look back with no worry. On those concerns raised about apparent additional square metres, the applicant explained that these were sitting under the out rig, they were not additional square metres, outside the footprint of the original house. On the proposed plans it was the main bedroom and the plant room that were the additional square metres. It was felt that this would not have an effect on the street or the conservation area. Regarding concerns raised about air conditioning, the application responded that this was the first time that they were made aware of the matter but they highlighted that Hackney Council had all the powers to enforce any conditions if any air conditioning was installed without planning permission. On the claim about a perceived flouting of the planning application process, the applicant replied that the application in question had taken almost over a year and was nearly concluded in May 2020, well before the enforcement matter had arisen. The application had taken so long because of previous uncertainties with the application. It was hoped that the development would come to an end shortly. In terms of a precedent being set, the applicant was sure that

Hackney Council would consider the impact of the application and it was noted that the Council's transport and highways team had concluded that there was no impact on the street.. If there was to be found any breach of the planning process then the Council had to be notified and the appropriate action taken.

7.5 During the discussion phase of the meeting a number of points were raised about the application including the following:

- Committee members were reminded that their focus at the meeting was just on the application before them On those concerns raised about additional square metres, the committee noted that for the application before them at the meeting there was an additional 44 square metres. The Planning Service confirmed that the additional metres would be underneath the rear extension under the existing footprint of the building
- The changes to the lightwell at the front of the property was not considered too different from the previous 2019 application
- The Planning Service confirmed that no air conditioning was proposed as part of the application. If they were proposed they would require planning approval
- On those concerns raised about disruption, dust and noise as a result of any construction work, the Planning Service highlighted that most construction work had been undertaken. There was some excavation required as part of the building of the basement flat, which would be subject to a construction condition
- It was noted that the extension at the rear of the site was not yet built and the existing garden would remain a part from the extension
- It was noted that the proposed cycle storage could be a little bulky and it was conditioned that further details would be provided
- On the absence of condition 8.1.1 from the report, it was clarified that condition would would have referred to the commencement of works but because the works had already commenced the condition no longer applied
- On the concerns raised about post submission revisions and the claim of gaming the planning process, the Planning Service responded that this was common practice to have post submission revisions and changes to the application to address various matters. In the case of the application under consideration at the meeting it was deemed unnecessary not to re-consult the planning process due to the post-submission revisions made because the objections that had already been made would cover the matter

Vote

For: Councillors Bell, Chauhan, Hanson, Stops and Race

Against: None

Abstention: None

**RESOLVED, that planning permission was granted subject to conditions and Section 106 legal agreement.**

**8. Delegated Decisions**

8.1 The Planning Sub-Committee noted the document.

**RESOLVED, the Planning Sub-Committee noted the delegated decisions document.**

**Duration of the meeting: 18:30 - 21:20 hours**

**Chairperson for the meeting:** Councillor Vincent Stops

**Contact:**

Gareth Sykes, Governance Services Officer  
gareth.sykes@hackney.gov.uk



<b>ADDRESS:</b> 3 Bradbury Street, Hackney, London, N16 8JN	
<b>APPLICATION NUMBER:</b> 2021/2842	
<b>WARD:</b> Dalston	<b>REPORT AUTHOR:</b> Nick Bovaird
<b>DOCUMENTS:</b> DWG_00_413_P1, DWG_00_413_C2, Letter “RE: Discharge of Condition 9 of the granted permission at 3-10 Bradbury Street, Hackney” from Brindle & Green Ecological Consultants Ltd, Bradbury Street Workspaces Toilet Statement December 2021	<b>VALID DATE:</b> 19/09/2021
<b>APPLICANT:</b> Hackney Co-operative Developments Community Interest Company, 3 Bradbury Street, Hackney, London, N16 8JN	<b>AGENT:</b> Alex Smith ([Y/N] Studio), 1a Autumn Yard, 39 Autumn Street, London, E3 2TT
<b>PROPOSAL:</b> Submission of details pursuant to conditions 4 (enlarged bin store/public w.c. facility) and 9 (Bird and Bat Boxes) of planning permission 2018/0792 dated 07/08/2018	
<b>POST SUBMISSION REVISIONS:</b> None	

<b>RECOMMENDATION SUMMARY:</b> Discharge Conditions
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<b>REASON FOR REFERRAL TO PLANNING SUB-COMMITTEE:</b>	
Major application	
Substantial level of objections received	
Other (in accordance with the Planning Sub-Committee Terms of Reference)	<b>Yes</b>

### ANALYSIS INFORMATION

ZONING DESIGNATION:	(Yes)	(No)
CPZ	Dalston	
Conservation Area	Dalston	
Listed Building (Statutory)		X
Listed Building (Local)		X
POA/PIA		X

<b>LAND DETAILS:</b>	<b>USE</b>	Use Class	Use Description	Floorspace Sqm
<b>Existing</b>		E	Retail (Market Pods)	95
		E	Office	917
<b>Proposed</b>		E	Retail	107
		E	Office	1588

### **CASE OFFICER'S REPORT**

#### **1. SITE AND CONTEXT**

- 1.1 The application site is comprised of 3-10 Bradbury Street, a mixed use mid-Victorian terrace, Gillet Square, an area of open space situated within Dalston and part of the car park in Gillet Square. Works are ongoing at the site, following the planning approval under 2018/0792 but prior to development 3-10 Bradbury Street comprised ground floor retail and restaurant uses that front onto Bradbury Street, and offices at first and second floor levels let out by Hackney Co-operative Developments as affordable workspace. The offices are accessed via a single stair core at the eastern end of the terrace and via external decks on the rear elevation of the building.
- 1.2 Gillett Square is a predominantly hard landscaped public square immediately to the north of Bradbury Street, and is identified as a protected open space under the Hackney Local Plan. The square comprises a number of retail pods immediately to the north of 3-10 Bradbury Street, facing into the square, which include retail and food and drink uses. Gillett Square also includes a bin store used by HCD, a temporary urinal and a range of benches and planters associated with the use of the square as a public space. The northern side of the Square is defined by a Council owned car park and Stamford Works, an office development. To the east of the square are residential terraces that front onto Kingsland High Street. The site is located in close proximity to Dalston Kingsland Station and to the east of Ridley Road Market.

#### **2. CONSERVATION IMPLICATIONS**

- 2.1 The property is located within the Dalston Conservation Area and 3-10 Bradbury Street is considered of townscape merit.

#### **3. HISTORY**

- 3.1 Planning Ref: 2018/0792  
Development Description: Construction of roof extension, three storey rear extension and mezzanine to provide additional workspace (B1) floor space, formation of roof terrace, various refurbishment works to building, temporary re-provision of the existing 'market pod ' units (A1) within Gillett square, permanent re-provision of existing 'market pod' units (A1) within the rear ground floor of 3-10 Bradbury Street, extension to existing bin store and other associated works.  
Decision Level: Committee  
Decision Date: 07/08/2018  
Decision Type: Granted
- 3.2 Planning Ref: 2019/3332  
Development Description: Non material amendment to planning permission 2018/0792 dated 07/08/2018, to allow the following changes to the approved design: - Amended roof material; - Terrace meeting rooms omitted on 1F + 2F, including omission of associated doors and windows - Drum roof no longer in use as terrace, removal of associated decking and curved balustrade; - Bi-folding shutters to retail pods substituted for outward opening double doors with cladding to match ground floor; - Replacement of expanded metal mesh on underside of terrace with white render. - Fewer rooflights on southern side.  
Decision Level: Delegate  
Decision Date: 20/07/2021  
Decision Type: Granted

**3.3 No appeal or enforcement history.**

**4. CONSULTATION**

- 4.1 Site Notice: No. Public consultation is not required for Approval of Details applications.
- 4.2 Press Advert: No. Public consultation is not required for Approval of Details applications.
- 4.3 **Neighbour Consultation**
- 4.3.1 No consultation responses have been received.
- 4.4 **External Consultees**
- 4.4.1 **Secure by Design Officer:** Whilst I do appreciate the issue of Public toilets is a complicated one with vastly contrasting viewpoints I am of the opinion the cons outweigh the pros at Gillett Square. Historically we have seen high levels of Anti-Social Behaviour (ASB), drug use and violence at

the locality. Police, Local authority and other stakeholders continue to work hard to address the issues and we have to think carefully about the effect that more toilets would have on our progress.

4.4.2 It is my belief that if additional toilets were installed we would see ASB rise in the area, as seen in other parts of Hackney these toilets would likely be used for illicit activities such as drug misuse, prostitution, a place to stash weapons and criminal damage. I believe the toilets would quickly have their doors broken and as a result would have a minimal impact of people urinating/defecating in the street, For example, in Stamford hill when the toilet doors were repeatedly damaged and locks disabled, reports of urination/defecation in residents gardens and doorways actually increased and the toilets were themselves used for drug use.

4.4.3 **Dalston Conservation Area Advisory Committee:** Whilst the CAAC supports the inclusion of bird boxes into the development, we have the following comments about these proposals:

1. The timber bat boxes are not sufficiently durable and we would recommend better quality bat boxes to be incorporated within this public building.
2. The swift boxes are located on the west elevation which is not appropriate due to heat gain.
3. The swift boxes are located too close to the adjacent roof.

#### 4.5 **Other Council Departments**

4.5.1 **Area Regeneration:** Area Regeneration supports Hackney Cooperative Developments in this proposal to provide a free of charge publicly accessible managed toilet facility within the redeveloped 2a-10 Bradbury Street building.

This approach is supported and deemed necessary to prevent and manage additional impacts of ASB and crime that could derive from the provision of an unmanaged toilet facility in Gillett Square. ASB and crime is currently observed and evidenced at the borough's unmanaged public conveniences.

4.5.2 **Community Safety, Enforcement and Business Regulation Service:** We note that the square is used for events (and we are trying to encourage use by activity groups) so it is certainly desirable to have public toilets / facilities for members of the public to use. This might even mean that more people are confident to visit and make use of the space in a positive way.

The main question is how to prevent misuse. There have been problems with drug supply and substance misuse in and around the square, and the concern is that toilets will be misused, or end up controlled by drug dealers to avoid detection from CCTV. We are also aware that at an event



earlier in the year the portable toilets that were hired were vandalised, which suggests that a portable installation might run into similar, and expensive, difficulties.

A management solution would therefore be required, to keep the toilets clean and free from vandalism but the cost of this is noted, since it would involve the use of an attendant, or some other form of place management (caretaker, regular maintenance / cleaning schedule on a daily basis). We also note that a lot of the urination happens overnight when the toilets would be locked.

## **5. POLICIES**

5.1 The following details the adopted policies of relevance to the determination of the application:

### **5.2 Hackney Local Plan (2020)**

PP1	Public Realm
PP2	Dalston
LP1	Design Quality and Local Character
LP2	Development and Amenity
LP38	Evening and Night Time Economy
LP47	Biodiversity and Sites of Importance of Nature Conservation

Child Friendly SPD  
Draft Dalston SPD

### **5.3 London Plan (2021)**

D4	Delivering good design
D8	Public realm
D11	Safety, security and resilience to emergency
S6	Public toilets
G5	Urban greening
G6	Biodiversity and access to nature

### **5.4 National Planning Policies**

National Planning Policy Framework (NPPF)  
National Planning Policy Guidance (NPPG)

**6. COMMENT**

- 6.1 The application is to discharge conditions 4 (enlarged bin store/public w.c. facility) and 9 (Bird and Bat Boxes) of planning permission 2018/0792 dated 07/08/2018.
- 6.2 The development description under 2018/0792 states “Construction of roof extension, three storey rear extension and mezzanine to provide 564 sq. m additional workspace (B1) floor space, formation of roof terrace, various refurbishment works to building, temporary reprovision of the existing 'market pod ' units (A1) within Gillett square, reprovision of existing 'market pod' units (A1) within the rear ground floor of 3-10 Bradbury Street on a permanent basis, extension to existing bin store and other associated works.”
- 6.3 Condition 4
- 6.4 Condition 4 of planning permission 2018/0792 dated 07/08/2018 states:
- Notwithstanding the details shown on the approved document ‘Design and Access Statement February 2018’ full details of the enlarged bin store/public w.c. facility shall be submitted to the local planning authority for approval prior to the first use of the development hereby approved. The Bin Store/W.C. shall be built in strict accordance with the details as approved and shall be retained as such thereafter.*
- 6.5 At the time the application to which condition 4 relates (2018/0792) was heard at committee, it was requested that this condition be brought back for consideration. The minutes of the meeting make clear that there was a discussion about whether a public toilet should form part of the scheme (the ‘maximum’ option within the approved Design and Access Statement), or just a bin store (the ‘minimum’ option).
- 6.6 The current application does not include a standalone public toilet within the square and it is considered that this is allowed by the wording of the condition, which is flexible so that either a Bin Store, or a W.C, or both, could be provided, so long as the details are submitted for consideration. It should be noted that toilets are not indicated on the approved drawings associated with the planning permission, but do appear as an option in the design and access statement.
- 6.7 The application instead proposes the public use of two internally located ground floor W.C’s, each with one toilet, located within the Bradbury Street building. One of these is located behind the reception desk, entered from the eastern end of the buildings. The other is a larger WC, accessible by disabled persons, in a new cafe at ground floor level in a retail pod facing the square. The toilet behind the reception desk would be

accessible between 8.30am and 7:30 pm Monday to Fridays. The cafe toilet would be accessible to between 8.30am and 8pm Monday to Saturday and would be accessible to anyone who falls within the following categories:

- Visitors and organisers of small scale events licenced by Hackney Cooperative Developments;
- Disabled customers using the square;
- Children with accompanied adults;
- All customers of the cafe operator;
- All other access would be at the discretion of the cafe operator.

- 6.8 The applicants have stated within the submission to discharge this condition that £400 will be paid by them to the cafe operators each year to ensure this access and that it will be made a condition of occupation for any future cafe operators within the unit.
- 6.9 Obvious limitations of the proposed approach are that the toilet would not be available on Sundays or outside of the cafe's opening hours each day. It is also clear from correspondence received from neighbouring residents and a local Councillor that there is a considerable problem with urination and defecation in the areas around the square. These problems seem to have increased since the existing urinals were removed from the square in the summer of 2020. The cafe solution would not alleviate this issue at all. It is noted that the Child Friendly SPD, along with the draft Dalston SPD, encourage the provision of toilets in public spaces.
- 6.10 During the course of this application, advice has therefore been sought from the Council's Area Regeneration team and the Community Safety, Enforcement and Business Regulation Service. It has been made clear that there are considerable issues with providing a standalone public toilet in this location. Their advice regarding anti-social behaviour has been strongly supported by a Secure by Design officer. The issues identified include vandalism, misuse of the facilities for Anti-Social Behaviour (ASB) and the need for regular cleaning to ensure that they remain in a suitable state for use by the general public.
- 6.11 The above problems are not insurmountable but the solutions, such as an attendant, or CCTV and a regular maintenance schedule, are notably expensive, and the logistics of this developer providing toilets and their plumbing in this location are unclear. As such, there is a question of whether it is appropriate to expect this development and application to deliver public toilets. London Plan policy S6 (Public Toilets) requires public toilets only of larger scale development than that approved under 2018/0792. Similarly, Local Plan policy LP9 (Health and Wellbeing) only requires public toilets of large-scale commercial developments in major Town Centres. 2018/0792 is a minor development from a not for profit organisation and, in the circumstances, it is considered unreasonable to require that a public toilet be required, particularly given the issues

identified above.

6.12 The bin store that is proposed is a simple extension to the existing bin store constructed of similar materials to the existing store. It provides space for an additional two bins, in line with the original approval and is considered acceptable.

6.13 For these reasons, the application to discharge condition 4 is recommended for approval.

6.14 Condition 9

6.15 Condition 9 of planning permission 2018/0792 dated 07/08/2018 states:

*Details, including justification of proposed quantum, of bird and bat, specifically swift and house sparrow, boxes shall be submitted to and approved in writing by the local planning authority. The approved birds and bat box details shall be implemented in accordance with the approved plans, prior to occupation of the development hereby approved.*

6.16 The submitted drawings and covering letter show the positioning of three Bat boxes and two Swift boxes in suitable locations on the building. The quantum of provision is consistent with the scale of the development and the justification provided in the submitted document is considered to be acceptable. It is noted that the materiality of the new facades of the building prevents the use of integrated swift/bat bricks and that the design of the boxes proposed is as recommended by ecology groups. As such, the discharge of condition 9 is recommended.

## **7. CONCLUSION**

7.1.1 The details submitted are considered sufficient and acceptable to discharge conditions 4 (enlarged bin store/public w.c. facility) and 9 (Bird and Bat Boxes) of planning permission 2018/0792 dated 07/08/2018. The application is recommended for approval.

## **RECOMMENDATION**

### **RECOMMENDATION A:**

That details pursuant to conditions 4 (enlarged bin store/public w.c. facility) and 9 (Bird and Bat Boxes) of planning permission 2018/0792 dated 07/08/2018 be approved.

## **8. INFORMATIVES**

No informatives necessary.

Signed..... Date.....

**ALED RICHARDS – DIRECTOR, PUBLIC REALM**

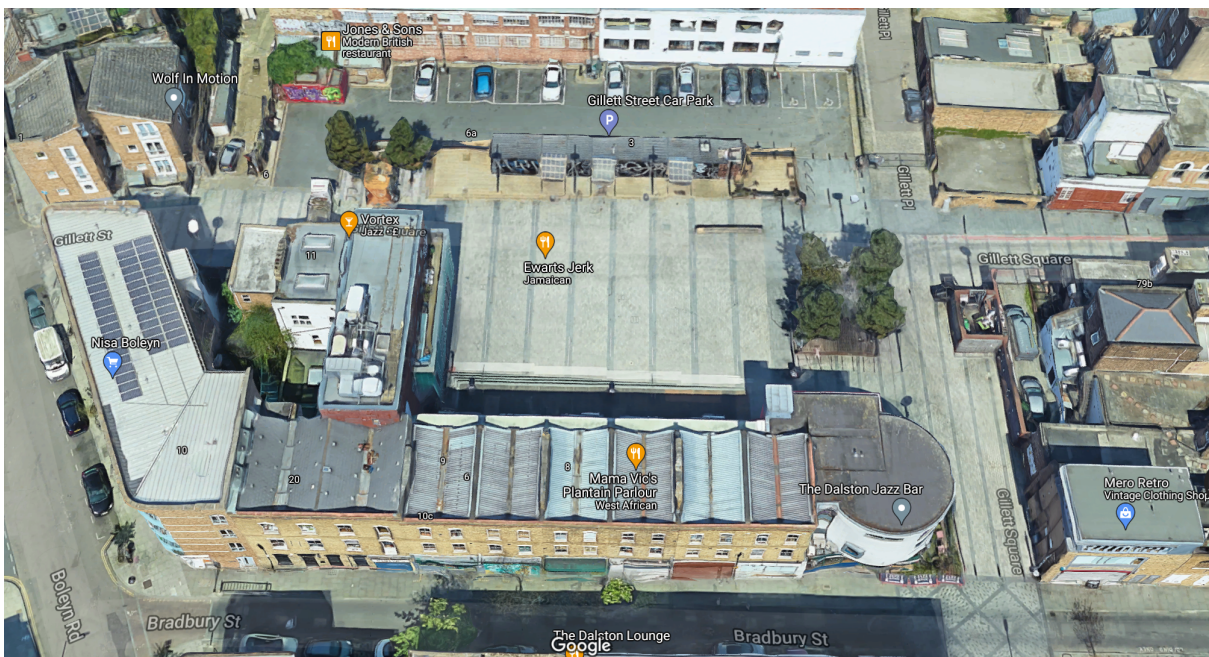
NO	BACKGROUND PAPERS	NAME/DESIGNATION AND TELEPHONE EXTENSION OF ORIGINAL COPY	LOCATION CONTACT OFFICER
1.	Submission documents and LBH policies/guidance referred to in this report are available for inspection on the Council's website.	Nicholas Bovaird Planning Officer Ext. 8291	2 Hillman Street, Hackney, E8 1FB
2.	Policy/guidance from other authorities/bodies referred to in this report are available for inspection on the website of the relevant authorities/bodies		
3.	Other background papers referred to in this report are available for inspection upon request to the officer named in this section.		



Site Photographs



Gillette Square, looking east:



Looking North: The location of the bin store can be seen on the eastern side of the square, adjacent to the rear of the terraced properties.





Existing bin store:



Bradbury Street elevation of the building, with cafe to right:

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Maegan Icke  
Y/N Studio  
1A Autumn Yard,  
39 Autumn Street,  
E3 2TT

Dear Maegan,

**RE: Discharge of Condition 9 of the granted permission at 3-10 Bradbury Street, Hackney**

Brindle & Green were commissioned to discharge Condition 9 of the above-mentioned planning application which stated:

*Details, including justification of proposed quantum, of bird and bat, specifically swift and house sparrow, boxes shall be submitted to and approved in writing by the local planning authority. The approved birds and bat box details shall be implemented in accordance with the approved plans, prior to occupation of the development hereby approved*

The attached plans (Appendix 1) show the positioning of three Bat boxes and two swift boxes which should be installed onto the building following construction and renovation of the building. The bat boxes should be fitted as close to the eaves as possible, with a clear flight path, away from artificial light sources. The box specifications are provided upon the attached plan and should be installed following the manufacturer's guidelines.

The buildings' location presents opportunities for Swift boxes to be used, and with likely success as a result of the building height. It is proposed that two swift boxes are attached upon the western elevation of the building, as the construction materials on the northern or eastern elevations of the building would prevent attachment of units. The southern elevation of the building could not be used for bird boxes as the summer temperatures will result in the desiccation of young, particularly within external mounted boxes. Due to the location within the Dalston Conservation Area, this issue cannot be overcome by using integrated boxes, which have better thermal properties.

I trust that this information is satisfactory to discharge the above condition.

Yours Sincerely,



Lucinda Sweet



For and on Behalf of  
Brindle & Green Limited  
Enc.

**Appendix 1**

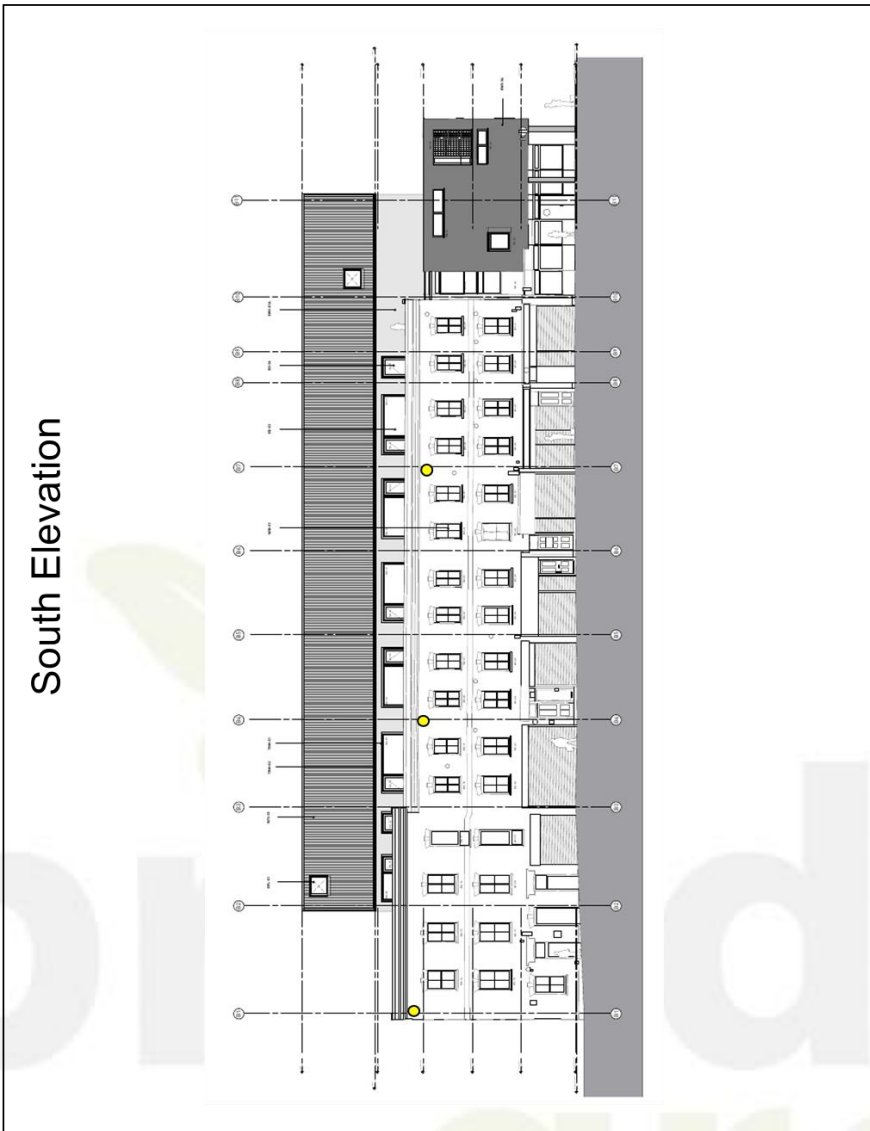
**Ecological Enhancement**  
Project reference: BG21.259 Bradbury Street, Hackney

3no. Oak Kent Bat box (or similar approved) will be installed on the southern elevation of the building.

The boxes should be positioned on the southern elevation as close to the eaves as possible away from artificial light sources.






Date Created: 05/08/2021  
This drawing is for indicative purposes only, the positioning and classification of habitat areas are not to scale.



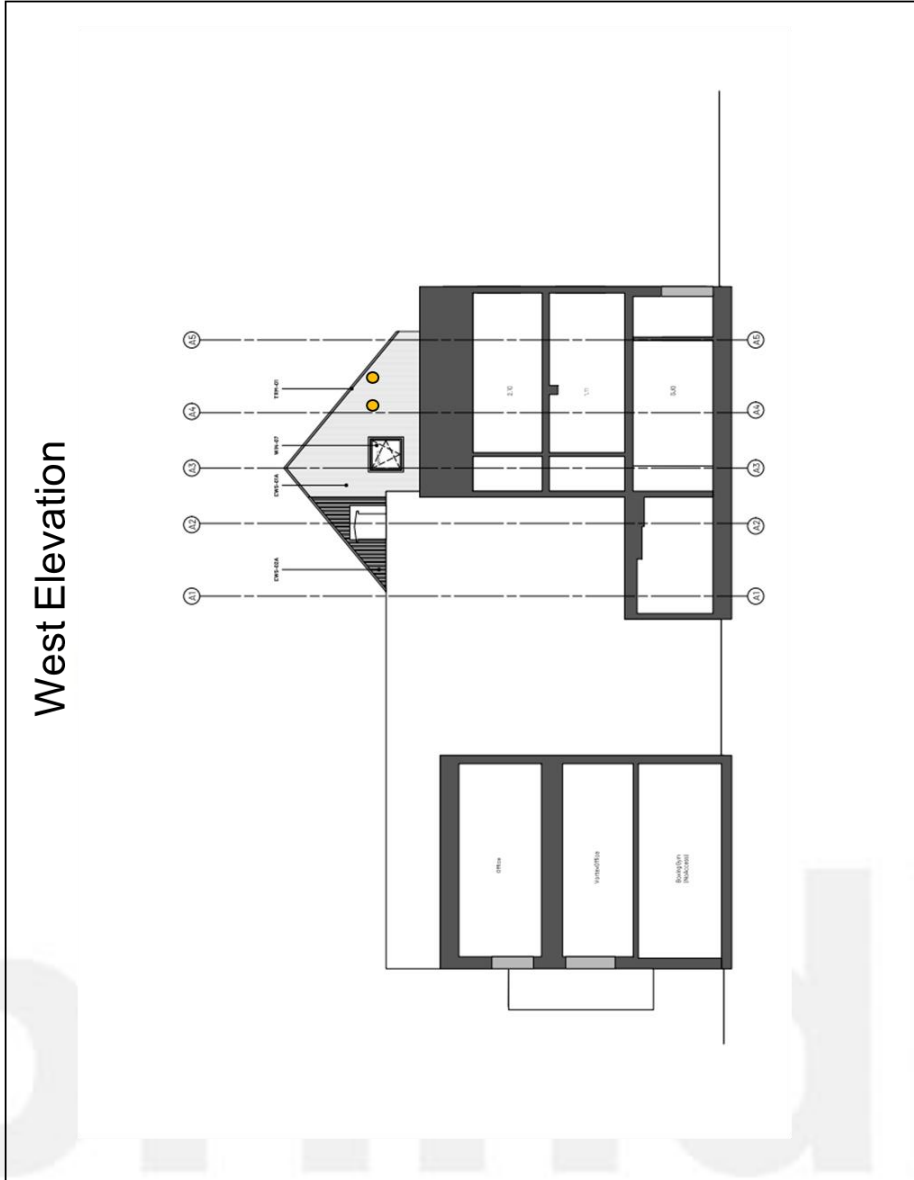
**Ecological Enhancement**  
 Project reference: BG21.259 Bradbury Street, Hackney

2no. Madrid swift Boxes (or similar approved) will be installed on the western elevation of the building.

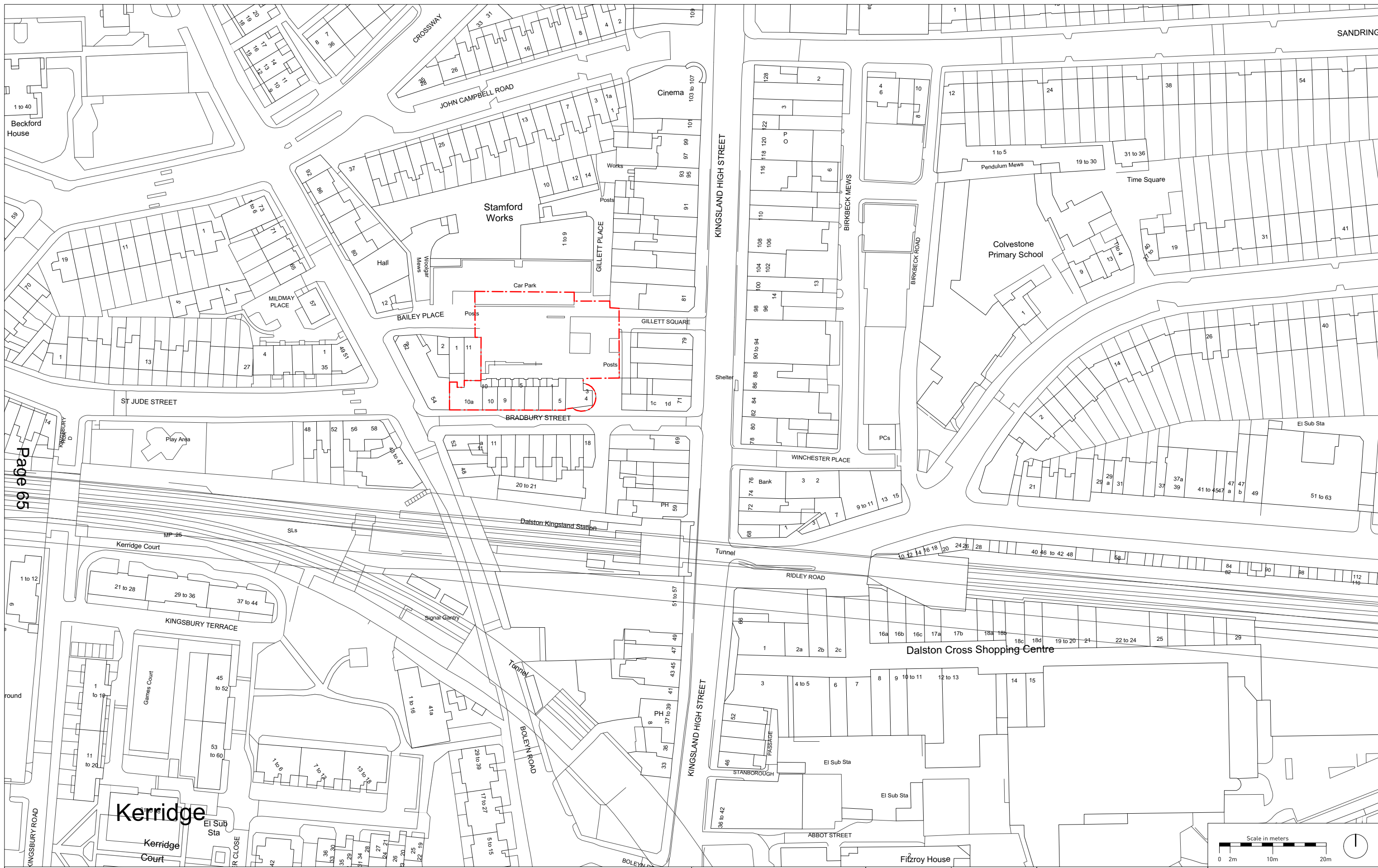
The boxes should be positioned on the western elevation as close to the eaves as possible away from artificial light sources and with a clear flight path

Date Created: 25/08/2021  
 This drawing is for indicative purposes only, the positioning and classification of habitat areas are not to scale.



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Revisions		
Date	Rev.	Note
12.09.2017	PP1	Issued for Information
16.10.2017	PP2	Issued for Information
02.02.2018	P1	Issued for Planning



Copyright Hawkins Brown Architects LLP  
 No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. Do not scale this drawing. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.

Scale	Date
1:1250 @ A3	Feb 2018
Drawn by	Checked by
MI	AS
Job Number	Status
YN005	P

Project	Bradbury Street, Dalston, Hackney
Drawing	
Existing Site Location Plan	

Scale in meters  
 0 2m 10m 20m

**[Y/N]**

**Hawkins Brown**

Drawing No. & Revision  
 DWG\_BS\_100\_P1

**[Y/N] Studio**  
 Unit 408, E1 Studios,  
 7 Whitechapel Road, E1 1DU  
 www.ynstudio.eu  
 mail@ynstudio.eu

159 St John Street  
 London EC1V 4DJ  
 mail@hawkinsbrown.com  
 hawkinsbrown.com

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## Planning Sub-Committee – 12/01/2022

<b>ADDRESS:</b> 21-30 Purcell Street, London, N1 6RD	
<b>WARD:</b> Hoxton East and Shoreditch	<b>REPORT AUTHOR:</b> Danny Huber
<b>APPLICATION NUMBER:</b> 2021/2864	<b>VALID DATE:</b> 17/09/2021
<b>DRAWING NUMBERS:</b> AD/H432-21-30PurcellSt-01; 02; 03 A; 04 A; Design and Access Statement Rev B; Veka M70 colour chart; Veka Matrix 70 Specification Sheet	
<b>APPLICANT:</b> London Borough of Hackney	<b>AGENT:</b> Mrs Ann Fan Mulalley & Company Ltd
<b>PROPOSAL:</b> Replace existing timber windows and doors with uPVC double glazed windows and doors, colour Rosewood.	
<b>POST SUBMISSION REVISIONS:</b> None	
<b>RECOMMENDATION SUMMARY:</b> Grant planning permission subject to conditions.	
<b>NOTE TO MEMBERS:</b> None.	

<b>REASON FOR REFERRAL TO PLANNING SUB-COMMITTEE:</b>	
Major application	
Substantial level of objections received	
Other (in accordance with the Planning Sub-Committee Terms of Reference)	<b>yes</b>

### ANALYSIS INFORMATION

#### ZONING DESIGNATION

	Yes	No
<b>CPZ</b>	F	
<b>Conservation Area</b>		X
<b>Listed Building (Statutory)</b>		X
<b>Listed Building (Local)</b>		X
<b>Priority Employment Area</b>		X

LAND USE	Use Class	Use Description	Floorspace Sqm
<b>Existing</b>	C3	A block of flats	N/A
<b>Proposed</b>	No Change	No Change	N/A



## CASE OFFICER'S REPORT

### **1.0 SITE CONTEXT**

- 1.1 The application site is located to the north east of the junction between Purcell Street and Pitfield Street.
- 1.2 The site consists of a four-storey block of flats with balconies on the western elevation and walkways on the eastern elevation. Both the eastern and western elevations have a variety of brown bottom hung casement windows.
- 1.3 There are no locally or statutory listed buildings in the surrounding area and the closest conservation area is Hoxton Street located some distance to the east of the site. The surrounding area is characterised by residential blocks with two other buildings of a matching architectural style to the east of the site. Notably, four of these already have permission for the replacement of the timber window with UPVC equivalents.

### **2.0 RELEVANT HISTORY**

#### **2.1 21-30 Purcell Street:**

2021/1391 - Replacement of windows to front and rear elevations. Granted at delegated level - 30/06/2021.

#### **2.2 1-10 Purcell Street:**

2021/1385 - Replacement of existing windows. Granted at committee - 13/10/2021

#### **2.3 11-20 Purcell Street:**

2021/1381 - Replace uPVC windows with uPVC double glazed windows. Colour rosewood. Granted at delegated level - 29/06/2021

2021/2853 - Replace existing timber windows and doors with uPVC double glazed windows and doors, colour Rosewood. Granted at delegated level - 10/11/2021

#### **2.4 31-40 Purcell Street:**

2021/1394 - Replacement of the existing windows on the front and rear elevations. Granted at delegated level - 28/06/2021

2021/2852 - Replace existing timber windows and doors with uPVC double glazed windows and doors. Granted at delegated level - 17/09/2021

### **3.0 CONSULTATIONS**

- 3.1 Date Statutory Consultation Period Started: 25/10/2021
- 3.2 Date Statutory Consultation Period Ended: 23/11/2021
- 3.3 Site Notice: Yes.
- 3.4 Press Advert: Not required.
- 3.5 **Neighbours**



- 3.5.1 Letters of consultation were sent to 30 adjoining owners/occupiers.
- 3.5.2 At the time of writing the report, objections in the form of 3 written letters of objection had been received. This representation is summarised below:
- object to the change from wood to uPVC in terms of character and appearance
  - replacing wood with uPVC is not environmentally sound
  - thermal benefits will not be realised if the walls are not replaced with cavity walls with insulation
  - the existing windows are fully functioning and do not need replacing; not sustainable to replace functioning windows
  - the current windows can be turned inside out allowing residents to save money on cleaning; this is not possible with the new windows
  - discrepancy between the Section 20 notice and planning application in terms of white vs rosewood uPVC finish
  - the uPVC is a higher fire risk than the timber
  - felt proper notice was not given to residents
- 3.5.3 *Officer Response:* Officers note that the window opening mechanism is shown to be the same on the existing and proposed drawings; while concerns are noted the ability to clean the windows is not material to the planning assessment. The discrepancy between the planning application and the Section 20 notice is not a matter for planning consideration. While concerns about fire risk are noted, the proposed windows would be required to meet relevant U values and safety requirements. The other issues will be addressed in the report below.
- 3.5.4 The above comments and all material planning considerations are addressed within the assessment section of this report.

### 3.6 **Statutory / Local Group Consultees**

- 3.6.1 Shoreditch CAAC: No objection.

## 4.0 **RELEVANT PLANNING POLICIES**

### 4.1 **Hackney Local Plan 2033 2020 (LP33)**

- LP1 Design Quality and Local Character
- LP2 Development and Amenity
- LP17 Housing Design
- LP54 Overheating and Adapting to Climate Change
- LP55 Mitigating Climate Change

### 4.2 **London Plan 2021**

- D1 London's Form, Character and Capacity for Growth
- D3 Optimising Site Capacity through the Design-led Approach
- D6 Housing Quality and Standards
- G5 Urban Greening
- G6 Biodiversity and Access to Nature

SI 4 Managing Heat Risk

### 4.3 SPD / SPF / Other

*Mayor of London*

Social Infrastructure (2015)

Sustainable Design and Construction SPG (2014)

*London Borough of Hackney*

Residential Extensions and Alterations SPD (2009)

Sustainable Design and Construction SPD (2016)

### 4.4 National Planning Policies/Guidance

National Planning Policy Framework (NPPF)

Planning Practice Guidance (NPPG)

### 4.5 Legislation

Town and Country Planning Act 1990

## 5.0 PLANNING CONSIDERATIONS

5.1 The main considerations relevant to this application are:

- Principle of Development
- Conservation and Design
- Neighbouring amenity
- Standard of accommodation
- Sustainability
- Biodiversity

5.2 Each of these considerations is discussed in turn below.

### 5.3 *Principle of Development*

5.3.1 The principle of undertaking residential alterations is in accordance with planning policy at local, regional and national levels, subject to assessments of other material considerations. In light of this, the proposed development is considered to be acceptable in principle.

### 5.4 *Conservation and Design*

5.4.1 The proposal would replace the existing brown, timber, top hung casement windows with double glazed, rosewood, UPVC, top hung casement windows. The proposed replacement windows on the front and rear elevations would match the existing in terms of open style but vary in material and slightly in colour and are

similar to others recently approved within close proximity to the site, as referenced in the history section above.

5.4.2 Officers consider the material to be acceptable as the block is not considered to be of a traditional style that would benefit significantly from the retention of its original timber windows. Furthermore, despite this slight variation in colour, officers consider the proposed rosewood to suitably match the existing.

5.4.3 Given that the proposed replacements are UPVC, some increase in proportions can be expected. The applicant has provided a manufacturers brochure for VEKA Matrix windows as well as cross-sections for the UPVC windows. These do show a slight increase in proportions although not so significant as to be detrimental to the character of the dwelling.

#### 5.5 ***Neighbouring Amenity***

5.5.1 The proposal would have no significant impact upon the amenity of neighbouring properties, as the proposed replacement windows would result in no loss of light, outlook or privacy given that the proposal is a direct replacement of the existing windows.

#### 5.6 ***Standard of Accommodation***

5.6.1 In terms of the amenity impacts of the works on the subject site, the proposal is considered to enhance the standard of accommodation provided to the occupants of the flats by improving the thermal efficiency and the security of all the flats within the property.

#### 5.7 ***Sustainability***

5.7.1 All new developments need to consider statutory requirements to reduce pollution, energy and carbon emissions, and should incorporate best practice design principles and guidance where appropriate.

5.7.2 Policy SI 4 of the London Plan and LP54 of LP33 requires all development to regulate internal and external temperatures through orientation, design, materials and technologies which avoid overheating, in response to the Urban Heat Island Effect and addressing climate change. Policy LP55 of LP33 applies to all new developments and states that these must actively seek to mitigate the impact of climate change through design which minimises exposure to the effects, and technologies which maximise sustainability.

5.7.3 The proposed windows will be constructed from modern materials and will include windows that will improve the thermal performance and natural ventilation of the subject buildings. Given the scale of the development, this is an acceptable response to the policies.

5.7.4 Overall, the proposal is considered to result in a sustainable form of development.

### 6.0 **CONCLUSION**

- 6.1 The proposed replacement windows to the front and rear elevations is deemed acceptable. The replacement windows will improve the standard of accommodation for the flats through providing increased thermal efficiency and will not have a demonstrably adverse impact upon the character and appearance of both the application site and wider surrounding context.

### **7.0 RECOMMENDATIONS**

#### **Recommendation A**

- 7.1 **That planning permission be GRANTED, subject to the following conditions:**

7.1.1 **Commencement within three years**

The development hereby permitted must be begun not later than the expiration of three years beginning with the date of this permission.

REASON: In order to comply with the provisions of the Town and Country Planning Act 1990 (as amended).

7.1.2 **Development in accordance with plans**

The Development hereby permitted shall only be carried out and completed strictly in accordance with the submitted plans hereby approved and any subsequent approval of details.

REASON: To ensure that the development hereby permitted is carried out in full accordance with the plans hereby approved.

7.1.3 **Materials**

All new external finishes in respect of all the works hereby approved (and any other incidental works to be carried out in this connection) shall match the existing building in respect of materials used, detailed execution and finished appearance, unless otherwise stated on the drawings hereby approved.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the area.

#### **Recommendation B**

- 7.2 That the Sub-Committee grants delegated authority to the Director of Public Realm and Head of Planning (or in their absence either the Growth Team Manager or DM & Enforcement Manager) to make any minor alterations, additions or deletions to the recommended conditions set out in this report provided this authority shall be exercised after consultation with the Chair (or in their absence the Vice-Chair) of the Sub-Committee (who may request that such alterations, additions or deletions be first approved by the Sub-Committee).

### **8.0 INFORMATIVES**

The following informatives should be added:

- SI.1 Building Control
- SI.7 Hours of Building Works
- NPPF Applicant/Agent Engagement

**Signed..... Date.....**

**Aled Richards** - Director, Public Realm

No.	Background Papers	Name, Designation & Telephone Extension of Original Copy	Location Contact Officer
1.	<p>Application documents and LBH policies/guidance referred to in this report are available for inspection on the Council's website</p> <p>Policy/guidance from other authorities/bodies referred to in this report are available for inspection on the website of the relevant authorities/bodies</p> <p>Other background papers referred to in this report are available for inspection upon request to the officer named in this section.</p> <p>All documents that are material to the preparation of this report are referenced in the report</p>	<p>Danny Huber Planning Officer x1453</p>	<p>2 Hillman Street London E8 1FB</p>

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Mulalley Ltd  
Teresa Gavin House, Woodford Avenue  
Essex IG8 8FA

## **Design and Access Statement**

**21-30 Purcell Street  
N1 6RD**

**LONDON BOROUGH OF HACKNEY**

## Introduction

This property is one of a number of properties within in the London Area, which is part of London Borough of Hackney Improvement Programme being carried out by Mulalley and Company Ltd.

The scope of works involves replacing the existing timber windows and doors as detailed on the drawings, which accompany the planning application.

A planning application was submitted with the reference 2021/1391 and granted. However, there has been some minor changes and additional communal windows included in this application.

## The Site and Proposed Works

<b>Name of Block</b>	<b>21-30 Purcell Street</b>	<b>N1 6RD</b>
<b>Local Authority</b>	<b>London Borough of Hackney</b>	
<b>Conservation Area</b>	<b>No</b>	
<b>Listed</b>	<b>No</b>	
<b>Article 4</b>	<b>No</b>	

## General Description of the Works

### External Works

On completion of a detailed external survey of this property block, all windows and doors are to be replaced both to improve the insulation levels of the building and overall comfort of the residents.

The existing timber windows and doors do not provide adequate thermal performance to the residents.

The proposed VEKA Matrix 70 product range accompany this application.

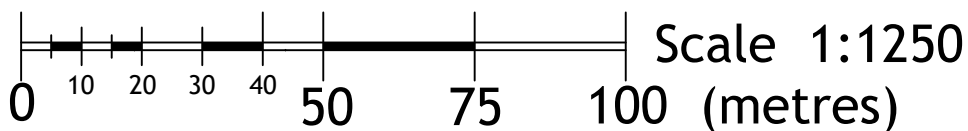
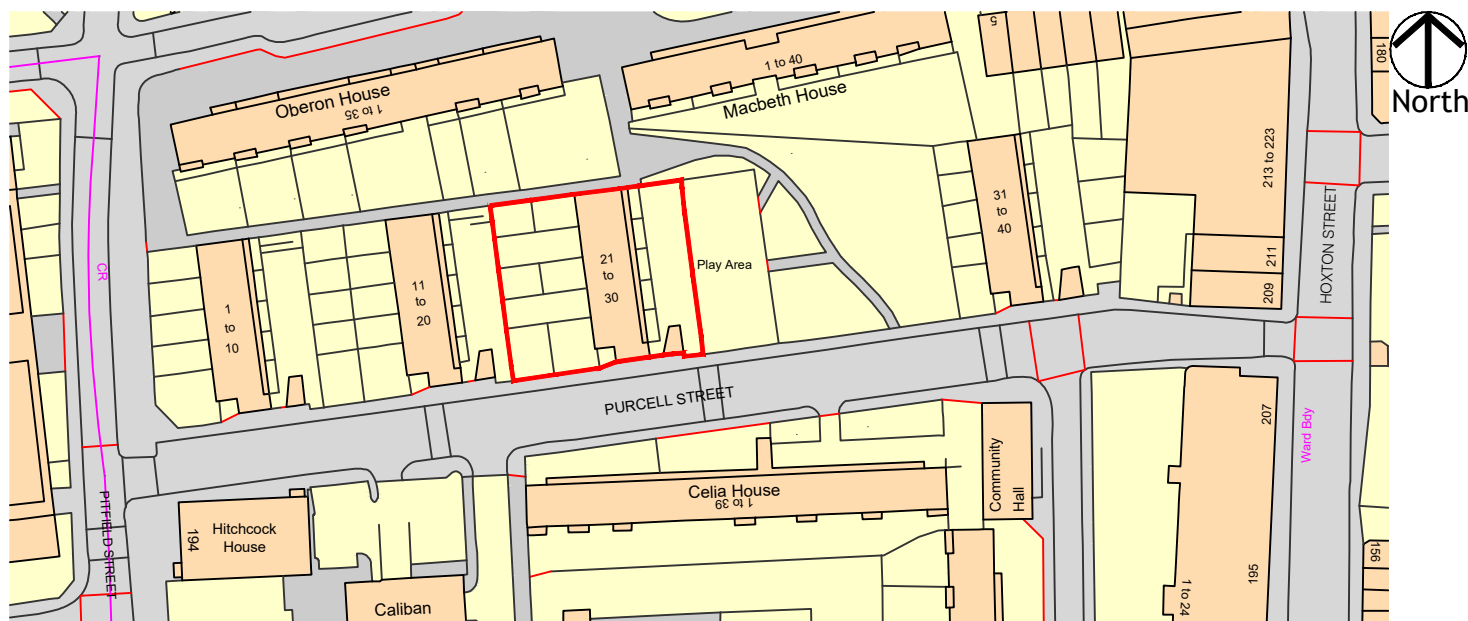
All works of making good shall retain the external fabric. All localised repairs shall be on a like for like basis

## Summary

The proposed windows and doors replacement is intended to improve the overall appearance of the building, to provide much needed maintenance, repair and provide a better thermal performance.

This work is intended to improve the comfort of the inhabitants whilst preserving the character of the property and the surrounding area.





**architecture**  
Mulalley Ltd  
Teresa Gavin House, Woodford Avenue, Essex, IG8 8FA  
Tel: 020 8551 9999

Date: April 2021	Client: London Borough of Hackney
Drawn: OR	Project: 21-30 Purcell Street N1 6RD
Check: AF	Page Title: Site Location Plan
Scale: 1:1250@A4	Dwg No. AD/H432-21-30PurcellStreet-01 Revision: /

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## Planning Sub-Committee – 12/01/2022

<b>ADDRESS:</b> 96 Brooke Road, London, N16 7RT	
<b>WARD:</b> Hackney Downs	<b>REPORT AUTHOR:</b> Alix Hauser
<b>APPLICATION NUMBER:</b> 2021/2489	<b>VALID DATE:</b> 17/08/2021
<b>DRAWING NUMBERS:</b> Site Location Plan; 012_0005; 012_0006 Rev 01; 012_2002; 012_2003; 012_2004; 012_2202 Rev 01.  Planning Design and Access Statement prepared by Studio Hallett Ike dated August 2021	
<b>APPLICANT:</b> Yolanda Crisp Flat A, 96 Brooke Road London N16 7RT	<b>AGENT:</b> Madeleine Ike Studio Hallett Ike 94 Marlborough Road Oxford OX1 4LS
<b>PROPOSAL:</b> Erection of outbuilding in rear garden.	
<b>POST SUBMISSION REVISIONS:</b> A tree plan was provided that showed the existing situation on site as well as the proposed species and number of trees proposed to be removed to facilitate the application. Given the tree plan simply evaluates the need for mitigation, a re-consultation exercise was not deemed necessary	
<b>RECOMMENDATION SUMMARY:</b> Grant planning permission subject to conditions.	
<b>NOTE TO MEMBERS:</b> None.	

<b>REASON FOR REFERRAL TO PLANNING SUB-COMMITTEE:</b>	
Major application	
Substantial level of objections received	
Other (in accordance with the Planning Sub-Committee Terms of Reference)	<b>Yes</b>

### ANALYSIS INFORMATION

#### ZONING DESIGNATION

	Yes	No
<b>CPZ</b>	Zone R	
<b>Conservation Area</b>	Northwold & Cazenove	
<b>Listed Building (Statutory)</b>		X
<b>Listed Building (Local)</b>		X
<b>Priority Employment Area</b>		X

## CASE OFFICER'S REPORT

### **1.0 SITE CONTEXT**

- 1.1 The site is an irregular shaped parcel of land located on the southern side of Brooke Road.
- 1.2 The site currently comprises a three-storey, plus basement, mid-terrace building, in use as three self-contained units. The application relates to the two-bedroom unit located at basement and ground floor levels.
- 1.3 The building is constructed in London stock brick, utilises timber framing for windows and doors and has a tiled roof. To the front of the property a two-storey bay window exists at basement and ground floor levels. To the rear, the property benefits from a flat-roofed three-storey closet wing addition.
- 1.4 The property benefits from a generous private rear garden not shared with the residents of the flats above. A number of trees are located in the rear garden including a large Sycamore Tree. Two trees located on the rear boundary, including a Silver Birch and a Pear tree, will require removal to facilitate the development.
- 1.5 The building forms part of a well preserved terrace of late Victorian houses which form part of a wider streetscape of terraced buildings in Brooke Road that are also well preserved. The surrounding area is primarily residential in character and buildings generally have similar scales and appearances.
- 1.6 Stoke Newington Common and the Overground line are located to the west of the site. The site is located within the Northwold & Cazenove Conservation Area but does not comprise a listed building.

### **2.0 CONSERVATION IMPLICATIONS**

- 2.1 The property is located within the Northwold & Cazenove Conservation Area but is not a listed building.
- 2.2 Northwold & Cazenove Conservation Area was designated on 15 September 2010. Almost all of the conservation area was built in a thirty year period between 1865 and 1895 on land owned by the Tyssen-Amhurst family. It is an excellent example of a late-Victorian residential estate built under the strict control of the ground landlord. Different builders were responsible for specific terraces or streets which resulted in a variety of different house types and designs, but with a uniformity that gives the whole area a distinct character and integrity.
- 2.3 In relation to the street in particular the CAA notes: *“There is some variety in the design and detailing of the houses in Brooke Road, but the houses are mainly three storey in height and generally attractive. They display attractive ornamentation and fine detailing including stringcourses, roof and window brackets and decorative stucco. A few houses are double-fronted as at No. 160 Brooke Road (figure 30). It is an attractive street and there are some street trees although as one of the main through roads from Upper Clapton to Stoke Newington there is a lot of traffic especially south of Evering Road.”*

- 2.4 Conservation Areas are protected through the Planning (Listed Buildings and Conservation Areas) Act 1990 (the **Act**). Section 72 states: “*special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.*” The proposal is considered to be well integrated within the surrounding historic context and would assist in enhancing the character of this part of the Northwold & Cazenove Conservation Area. Further detail is provided in section 6.2.

### **3.0 RELEVANT HISTORY**

- 3.1 None.

### **4.0 CONSULTATIONS**

- 4.1 Date Statutory Consultation Period Started: 27/08/2021
- 4.2 Date Statutory Consultation Period Ended: 01/10/2021
- 4.3 Site Notices: Yes (1 on Brooke Road)
- 4.4 Press Advert: Yes (Hackney Citizen 10/09/2021)

#### **Neighbours**

- 4.5 Letters of consultation were sent to 15 adjoining owners/occupiers.
- 4.6 At the time of writing the report, one comment was received supporting the proposed green roof to enhance biodiversity.

#### **Statutory Consultees**

- 4.7 None.

#### **Council Departments**

- 4.8 None.

#### **Local Groups**

- 4.9 Clapton CAAC: No response received at the time of writing.

**5.0 POLICIES**

**5.1 Hackney Local Plan 2033 2020 (LP33)**

- LP1 Design Quality and Local Character
- LP2 Development and Amenity
- LP3 Designated Heritage Assets
- LP17 Housing Design
- LP46 Protection and Enhancement of Green Infrastructure
- LP47 Biodiversity and Sites of Importance of Nature Conservation
- LP51 Tree Management and Landscaping
- LP53 Water and Flooding
- LP54 Overheating and Adapting to Climate Change
- LP55 Mitigating Climate Change

**5.2 London Plan 2021**

- D1 London's Form, Character and Capacity for Growth
- D3 Optimising Site Capacity through the Design-led Approach
- D6 Housing Quality and Standards
- HC1 Heritage, Conservation and Growth
- G5 Urban Greening
- G6 Biodiversity and Access to Nature
- G7 Trees and Woodlands
- SI 4 Managing Heat Risk
- SI 12 Flood Risk Management
- SI 13 Sustainable Drainage

**5.3 SPD / SPF / Other**

*Mayor of London*

Sustainable Design and Construction SPG (2014)

*London Borough of Hackney*

Residential Extensions and Alterations SPD (2009)

Sustainable Design and Construction SPD (2016)

**5.4 National Planning Policies/Guidance**

National Planning Policy Framework  
Planning Practice Guidance

**5.5 Legislation**

Town and Country Planning Act 1990

Planning (Listed Buildings and Conservation Areas) Act 1990

### 6.0 COMMENT

#### 6.1 **Background**

6.1.1 The proposal is for the erection of a single-storey outbuilding in the rear garden.

6.1.2 The outbuilding is proposed on the southern boundary, would have a footprint of 4.56m x 5.7m (for a total area of approximately 24sqm) and is proposed to extend the full width of the site. The outbuilding will have a flat roof and a height of 3m, extending above the existing boundary fencing of 1m. Windows and doors are proposed on the northern (front elevation).

6.1.3 The outbuilding is proposed to be clad in dark timber with metal framed windows. A skylight is proposed within the green / sedum roof.

6.1.4 The outbuilding is proposed to be used as a home office, ancillary to the use of the dwellinghouse, and will include a garden store on the western side.

6.1.5 Two trees including a Silver Birch and Pear Tree are proposed to be removed to facilitate the proposal.

6.1.6 The main considerations relevant to this application are:

- Design & Conservation
- Amenity Impacts to Neighbouring Properties
- Landscape & Trees
- Biodiversity and Ecology
- Energy & Sustainability
- Drainage

Each of these considerations is discussed in turn below.

#### 6.2 **Design & Conservation**

6.2.1 Policies LP1 (Design Quality and Local Character) of the LP33 and D3 (Optimising Site Capacity through the Design-led Approach) of the London Plan seek to adopt a rigorous design approach and ensure that all new development be of the highest architectural and urban design quality. They require development to respond in a positive manner to the existing context and local character, be compatible with the existing townscape including urban grain and plot division, and where possible enhance it.

6.2.2 The site sits within the Northwold & Cazenove Conservation Area. Conservation Areas are protected through the Planning (Listed Buildings and Conservation Areas) Act 1990 and particularly section 72, which states: *“special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.”*

6.2.3 LP33 policy LP3 (Designated Heritage Assets) and policy HC1 (Heritage, Conservation and Growth) of the London Plan require development proposals affecting Conservation Areas or their settings to preserve or enhance the character and appearance of the area including, the established local character of individual buildings and groups of buildings (in terms of height, massing, scale, form, design, materials, detailing and use) and the rhythms and historical form of the area (in

terms of the spaces between buildings, density, settings, building lines, siting, pattern of development, urban grain and plot coverage).

- 6.2.4 Section 4.12 of the Hackney Residential Extensions and Alterations SPD (SPD) states that *'the construction of sheds, greenhouses and other structures in the rear garden and other unbuilt areas, can have a significant impact on the amenity and character of an area, and contribute to incremental urbanisation'*. The SPD also highlights that outbuildings within gardens in conservation areas will be discouraged.
- 6.2.5 It is noted that outbuildings, including those that are full width, have become an established residential feature in the Northwold and Cazenove Conservation Area, including in the vicinity of the application site. Whilst some of these outbuildings have been built under permitted development legislation, it is considered that the nature of rear gardens of the conservation area has changed (since the SPDs adoption in 2009) resulting in a character in which outbuildings have become common.
- 6.2.6 As such, the proposed outbuilding does not present any significant design issues. The scale and location are considered compatible with, and subordinate to, the existing dwelling ensuring the outbuilding will not detract from the established residential character values and that a reasonably sized rear garden would be maintained. The proposed outbuilding results in a structure that complements the existing hostbuilding and will remain ancillary to its residential use.
- 6.2.7 The design and materials proposed are considered to be of high quality and will ensure the character and appearance of the conservation area will be preserved. It is considered that the design results in a structure that complements the existing building and will remain ancillary to its use.
- 6.2.8 In order to ensure the materials are of a suitable quality, a condition will be imposed requiring the submission of material samples.
- 6.2.9 Given the context of the site and the scale of the proposal, the development is considered to be in keeping with the character of the properties and the terrace. It would preserve the special character and appearance of the conservation area in compliance with Section 72 of the Act and would not harm the conservation area, in compliance with the relevant tests in the NPPF.
- 6.2.10 The development is considered acceptable in design and conservation terms, and would preserve the character and appearance of the terrace within which the property is located, the surrounding streetscene and wider conservation area.
- 6.2.11 The proposal complies with pertinent policies in the Hackney Local Plan 2033 (2020) and the London Plan (2021) and the granting of full planning permission is recommended subject to conditions regarding materials and detailing.

### **6.3 Amenity Impacts to Neighbouring Properties**

- 6.3.1 Policy LP2 of LP33 states that all new development must be appropriate to its location and should be designed to ensure that there are no significant adverse impacts on the amenity of neighbours. The individual and cumulative impacts of



development proposals on amenity are relevant in considering their acceptability. The consideration of the merits of development proposals will be balanced against the impact on amenity.

- 6.3.2 The potential impacts of residential works on the amenity values of neighbouring properties are generally considered to include daylight/sunlight, outlook (including bulk and dominance issues) and privacy/overlooking matters.
- 6.3.3 Given the position, design, scale and height of the proposed outbuilding it is considered that the development will not result in an unacceptable detrimental impact upon neighbouring occupiers in terms of provision of daylight/sunlight or outlook from the site and would not result in unacceptable overbearing impact or sense of enclosure. The proposed form and massing of the works, particularly the height of roof which extends for 1m above the existing boundary walls, would not lend to a demonstrably adverse impact to adjoining properties (including gardens) in terms of visual impact and overshadowing.
- 6.3.4 The outbuildings openings would be located on the northern elevation and would face into the site, ensuring privacy impacts as a result of the proposal are not worsened.
- 6.3.5 The proposed provision of a roof light is not considered to result in increased levels of overlooking or unacceptable light pollution.
- 6.3.6 Given the above, the proposal is considered acceptable in amenity terms.

#### **6.4 Landscape & Trees**

- 6.4.1 A mature Sycamore tree is located within close proximity of the proposed outbuilding. The outbuilding is proposed to be constructed within 3m of the tree. A condition will require that protection measures are undertaken during construction to ensure the health of this tree is maintained.
- 6.4.2 There are two trees to be removed, which include a Silver Birch and a Pear Tree. These trees are considered to be of low retention quality and their loss is considered acceptable. No objection has been raised by the Council's Landscape and Tree Officer. The applicant has confirmed that these trees are proposed to be replaced with mature saplings. To ensure that suitable replacement tree planting is undertaken, this will be required by condition in accordance with policies LP51 (Tree Management and Landscaping) of LP33 and G7 (Trees and Woodlands) of the London Plan.
- 6.4.3 On this basis, the proposal is acceptable on tree grounds.

#### **6.5 Biodiversity & Ecology**

- 6.5.1 Policy G5 (Urban Greening) of the London Plan and LP46 (Protection and Enhancement of Green Infrastructure) of LP33 requires that all development should enhance the network of green infrastructure and seek to improve access to open space.

- 6.5.2 The development, whilst not providing any additional open space, will ensure that an adequate area of open space to the rear of the site is maintained. Furthermore, a green roof is proposed and existing mature trees are proposed to be retained. A condition of permit will require details of this green roof be provided.
- 6.5.3 Given the constraints of the site, the nature and scale of the proposed development and acknowledging that the development will not result in a net loss of biodiversity, the level of landscaping maintained within the rear garden is considered acceptable in this instance.
- 6.5.4 Policy G6 (Biodiversity and Access to Nature) of the London Plan states that development proposals should manage impacts on biodiversity and aim to secure net biodiversity gain. Policy LP47 (Biodiversity and Sites of Importance of Nature Conservation) of LP33 reinforces this policy, stating that all development should protect and, where possible, enhance biodiversity leading to a net gain.
- 6.5.5 In order to help preserve endangered urban biodiversity and result in protection of biodiversity values, it is considered that replacement trees should be required as a condition of permit.
- 6.5.6 Given the small scale nature of the proposal, subject to the provision of replacement trees and the provision of a green roof, it is considered to have an acceptable impact on the biodiversity of the site and the wider Borough and is deemed to be in accordance with Hackney Local Plan policies LP46 and LP47 and London Plan policies G5 and G6.

## **6.6 Energy & Sustainability**

- 6.6.1 All new developments need to consider statutory requirements to reduce pollution, energy and carbon emissions, and should incorporate best practice design principles and guidance where appropriate.
- 6.6.2 Policy SI4 of the London Plan and LP54 of LP33 require all development to regulate internal and external temperatures through orientation, design, materials and technologies which avoid overheating, in response to the Urban Heat Island Effect and addressing climate change.
- 6.6.3 Policy LP55 of LP33 applies to all new developments and states they must actively seek to mitigate the impact of climate change through design which minimises exposure to the effects, and technologies which maximise sustainability.
- 6.6.4 A development of this scale would be expected to comply with any building regulations to ensure the statutory requirements to reduce pollution, energy and carbon emissions are met. The development would be required to demonstrate that it incorporates fabric efficiency measures.
- 6.6.5 The proposed outbuilding will be constructed of modern materials that will result in acceptable energy efficiency of the building, which is considered sufficient for the scale of development.
- 6.6.6 Overall, the proposal is considered to result in a sustainable form of development. The proposal is considered to result in a sustainable form of development and is

deemed to be in accordance with London Plan policy S1 4 and LP33 policies LP54 and LP55.

## **6.7 Drainage**

- 6.7.1 London Plan policy SI 12 states that development proposals must comply with the flood risk assessment and management requirements over the lifetime of the development and have regard to measures proposed in flood management plans. Policy SI13 of the London Plan states that development proposals should aim to achieve greenfield run-off rates and ensure that surface water run-off is managed as close to its source as possible.
- 6.7.2 Policy LP53 of LP33 requires all development to have regard to reducing flood risk, both to and from the site, over its expected lifetime. The policy further states that all development should decrease vulnerability to flooding through appropriate siting, design and on-, and off-site mitigation.
- 6.7.3 The proposed outbuilding has a footprint of 24sqm. However, the proposal is not located within a critical drainage area and proposes to retain a significant amount of planting and permeable area within the rear garden. Furthermore, the proposal will be with a green roof to help with sustainable drainage. As such, and given the scale of the development, no mitigation measures are considered necessary in this instance.

## **7.0 CONCLUSION**

- 7.1 The proposed design, scale and position of the development will respect the character and appearance of the subject building and the surrounding streetscene, would not harm the setting of the conservation area and would not have an unacceptable detrimental impact on the amenity of adjoining occupiers.
- 7.2 The proposal is deemed to comply with the relevant policies in the Hackney Local Plan 2033 (2020) and the London Plan (2021) and the granting of planning permission is recommended subject to conditions.

**8.0 RECOMMENDATIONS**

**Recommendation A**

8.1 That planning permission be GRANTED, subject to the following conditions:

**8.1.1 Commencement within three years**

The development hereby permitted must be begun not later than three years after the date of this permission.

REASON: In order to comply with the provisions of Section 91(1) of the Town and Country Planning Act 1990 as amended.

**8.1.2 Development in accordance with plans**

The development hereby permitted shall only be carried out and completed strictly in accordance with the submitted plans hereby approved and any subsequent approval of details.

REASON: To ensure that the development hereby permitted is carried out in full accordance with the plans hereby approved.

**8.1.3 Materials samples**

Full details and physical samples of materials used for all external surfaces including roofing, cladding, walling and glazing must be submitted to and approved by the Local Planning Authority, in writing, before any work on the relevant parts are commenced. The development shall not be carried out otherwise than in accordance with the materials thus approved which shall be implemented in full prior to the first use of the development and retained in perpetuity

REASON: To ensure the external appearance of the building is satisfactory and does not detract from the character and appearance of the Northwold & Cazenove Conservation Area.

**8.1.4 Tree Replacement**

Prior to superstructure works, details of replacement planting within the rear garden must be submitted to and approved by the Local Planning Authority in writing.

The replacement planting, when approved, shall be carried out within a period of twelve months from the date on which the development of the site commences or shall be carried out in the first planting (and seeding) season following completion of the development, and shall be maintained to the satisfaction of the Local Planning Authority for a period of ten years, such maintenance to include the replacement of any plants that die, or are severely damaged, seriously diseased, or removed.

REASON: In the interest of providing reasonable environmental standards and enhancing biodiversity.

**8.1.5 Tree Protection**

Tree protection for all retained trees at the site and on adjacent land shall be undertaken in accordance with BS5837:2012 (Trees in relation to construction -

Recommendations) and will protect the root protection area calculated as described in Table 2 of that British Standard for the duration of all site works (including demolition) undertaken in connection with the development hereby approved.

The protective fencing will be 2.4m high and conform to Figure 2 of BS5837:2012 i.e. a scaffold framework comprising a vertical and horizontal framework, well braced to resist impacts, with vertical tubes spaced at a maximum interval of 3m. On to this weldmesh panels should be securely fixed with wire or scaffold clamps.

REASON: In order to protect the existing trees during building operation and site works.

**8.1.6 Green Roof**

Details of a green roof, designed for biodiversity and as part of a sustainable urban drainage system, shall be submitted and approved by the Local Planning Authority in writing before any work on the site is commenced. The development shall not be carried out otherwise than in accordance with the details thus approved.

REASON: In the interest of enhancing biodiversity, managing flood risk and providing a sustainable drainage system.

**Recommendation B**

8.2 That the Sub-Committee grants delegated authority to the Director of Public Realm and Head of Planning (or in their absence either the Growth Team Manager or DM & Enforcement Manager) to make any minor alterations, additions or deletions to the recommended conditions set out in this report provided this authority shall be exercised after consultation with the Chair (or in their absence the Vice-Chair) of the Sub-Committee (who may request that such alterations, additions or deletions be first approved by the Sub-Committee).

**9.0 INFORMATIVES**

The following informatives should be added:

- SI.1 Building Control
- SI.7 Hours of Building Works
- NPPF Applicant/Agent Engagement

**Signed..... Date.....**

**Aled Richards** - Director, Public Realm

No.	Background Papers	Name, Designation & Telephone Extension of Original Copy	Location Contact Officer
1.	Application documents and LBH policies/guidance referred to in this report are available for inspection on the	Alix Hauser Planning Officer	2 Hillman Street London

	<p>Council's website</p> <p>Policy/guidance from other authorities/bodies referred to in this report are available for inspection on the website of the relevant authorities/bodies</p> <p>Other background papers referred to in this report are available for inspection upon request to the officer named in this section.</p> <p>All documents that are material to the preparation of this report are referenced in the report</p>	x6377	E8 1FB
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<b>ADDRESS:</b> 96 Brooke Road, London, N16 7RT	
<b>WARD:</b> Hackney Downs	<b>REPORT AUTHOR:</b> Alix Hauser
<b>APPLICATION NUMBER:</b> 2021/2436	<b>VALID DATE:</b> 08/09/2021
<b>DRAWING NUMBERS:</b> Site Location Plan; 012_0000; 012_0001; 012_0005; 012_0006 Rev 01; 012_0010; 012_0020; 012_2000; 012_2001 Rev 01; 012_2005; 012_2010; 012_2020.  Planning, Design & Access Statement prepared by Studio Hallett Ike dated August 2021.	
<b>APPLICANT:</b> Yolanda Crisp Flat A, 96 Brooke Road London N16 7RT	<b>AGENT:</b> Madeleine Ike Studio Hallett Ike 94 Marlborough Road Oxford OX1 4LS
<b>PROPOSAL:</b> Erection of single storey rear extension at lower ground floor level including associated alterations to rear staircase and openings on rear elevation at lower and upper ground floor levels.	
<b>POST SUBMISSION REVISIONS:</b> A tree plan was provided that showed the existing situation on site as well as the proposed species and number of trees proposed to be removed to facilitate the application. Given the tree plan simply evaluates the need for mitigation, a re-consultation exercise was not deemed necessary	
<b>RECOMMENDATION SUMMARY:</b> Grant planning permission subject to conditions.	
<b>NOTE TO MEMBERS:</b> None.	

<b>REASON FOR REFERRAL TO PLANNING SUB-COMMITTEE:</b>	
Major application	
Substantial level of objections received	
Other (in accordance with the Planning Sub-Committee Terms of Reference)	<b>Yes</b>

### **ANALYSIS INFORMATION**

#### **ZONING DESIGNATION**

	<b>Yes</b>	<b>No</b>
<b>CPZ</b>	Zone R	
<b>Conservation Area</b>	Northwold & Cazenove	
<b>Listed Building (Statutory)</b>		X
<b>Listed Building (Local)</b>		X
<b>Priority Employment Area</b>		X

### CASE OFFICER'S REPORT

#### **1.0 SITE CONTEXT**

- 1.1 The site is an irregular shaped parcel of land located on the southern side of Brooke Road.
- 1.2 The site currently comprises a three-storey, plus basement, mid-terrace building, in use as three self-contained units. The application relates to the two-bedroom unit located at basement and ground floor levels.
- 1.3 The building is constructed in London stock brick, utilises timber framing for windows and doors and has a tiled roof. To the front of the property a two-storey bay window exists at basement and ground floor levels. To the rear, the property benefits from a flat-roofed three-storey closet wing addition.
- 1.4 The property benefits from a generous private rear garden not shared with the residents of the flats above. A number of trees are located in the rear garden including a large Sycamore Tree.
- 1.5 The building forms part of a well preserved terrace of late Victorian houses which form part of a wider streetscape of terraced buildings in Brooke Road that are also well preserved. The surrounding area is primarily residential in character and buildings generally have similar scales and appearances.
- 1.6 Stoke Newington Common and the Overground line are located to the west of the site. The site is located within the Northwold & Cazenove Conservation Area but does not comprise a listed building.

#### **2.0 CONSERVATION IMPLICATIONS**

- 2.1 The property is located within the Northwold & Cazenove Conservation Area but is not a listed building.
- 2.2 Northwold & Cazenove Conservation Area was designated on 15 September 2010. Almost all of the conservation area was built in a thirty year period between 1865 and 1895 on land owned by the Tyssen-Amhurst family. It is an excellent example of a late-Victorian residential estate built under the strict control of the ground landlord. Different builders were responsible for specific terraces or streets which resulted in a variety of different house types and designs, but with a uniformity that gives the whole area a distinct character and integrity.
- 2.3 In relation to the street in particular the CAA notes: *“There is some variety in the design and detailing of the houses in Brooke Road, but the houses are mainly three storey in height and generally attractive. They display attractive ornamentation and fine detailing including stringcourses, roof and window brackets and decorative stucco. A few houses are double-fronted as at No. 160 Brooke Road (figure 30). It is an attractive street and there are some street trees although as one of the main through roads from Upper Clapton to Stoke Newington there is a lot of traffic especially south of Evering Road.”*



- 2.4 Conservation Areas are protected through the Planning (Listed Buildings and Conservation Areas) Act 1990. Section 72 states: “*special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.*” The proposal is considered to be well integrated within the surrounding historic context and would assist in enhancing the character of this part of the Northwold & Cazenove Conservation Area. Further detail is provided in section 6.2.

### **3.0 RELEVANT HISTORY**

- 3.1 None.

### **4.0 CONSULTATIONS**

- 4.1 Date Statutory Consultation Period Started: 20/09/2021
- 4.2 Date Statutory Consultation Period Ended: 15/10/2021
- 4.3 Site Notices: Yes (1 on Brooke Road)
- 4.4 Press Advert: Yes (Hackney Citizen 24/09/2021)

#### **Neighbours**

- 4.5 Letters of consultation were sent to 11 adjoining owners/occupiers. At the time of writing the report no responses as a result of public consultation had been received.

#### **Statutory Consultees**

- 4.6 None.

#### **Council Departments**

- 4.7 None.

#### **Local Groups**

- 4.8 Clapton CAAC: No objection.

**5.0 POLICIES**

**5.1 Hackney Local Plan 2033 2020 (LP33)**

- LP1 Design Quality and Local Character
- LP2 Development and Amenity
- LP3 Designated Heritage Assets
- LP17 Housing Design
- LP46 Protection and Enhancement of Green Infrastructure
- LP47 Biodiversity and Sites of Importance of Nature Conservation
- LP51 Tree Management and Landscaping
- LP53 Water and Flooding
- LP54 Overheating and Adapting to Climate Change
- LP55 Mitigating Climate Change

**5.2 London Plan 2021**

- D1 London's Form, Character and Capacity for Growth
- D3 Optimising Site Capacity through the Design-led Approach
- D6 Housing Quality and Standards
- HC1 Heritage, Conservation and Growth
- G5 Urban Greening
- G6 Biodiversity and Access to Nature
- G7 Trees and Woodlands
- SI 4 Managing Heat Risk
- SI 12 Flood Risk Management
- SI 13 Sustainable Drainage

**5.3 SPD / SPF / Other**

*Mayor of London*

Sustainable Design and Construction SPG (2014)

*London Borough of Hackney*

Residential Extensions and Alterations SPD (2009)

Sustainable Design and Construction SPD (2016)

**5.4 National Planning Policies/Guidance**

National Planning Policy Framework  
Planning Practice Guidance

**5.5 Legislation**

Town and Country Planning Act 1990

Planning (Listed Buildings and Conservation Areas) Act 1990

**6.0** COMMENT

**6.1** **Background**

- 6.1.1 The proposal is for the erection of a single storey rear extension at lower ground floor level including associated alterations to rear staircase and openings on rear elevation at lower and upper ground floor levels.
- 6.1.2 The extension is proposed to extend from the rear elevation for a depth of 1.5m and would infill the space between the western boundary wall and the existing closet wing, below the existing upper ground floor terrace. The extension is proposed to have a height of 2.7m to reach the floor of the terrace above.
- 6.1.3 The extension is proposed in brick to match existing with metal framed glazing. The flat roof would continue to provide an upper ground floor terrace.
- 6.1.4 As part of the proposal, the upper ground floor windows and doors in the rear elevation of the host building and the windows and doors on the rear of the closet wing at both lower and upper ground floor level are proposed to be replaced with metal windows/doors to match those being installed in the new extension.
- 6.1.5 The staircases which extend from the upper ground floor are also proposed to be amended as part of the proposal with the one attached to the closet wing being removed completely and the one from the upper ground floor terrace being rationalised. No details of the proposed material were provided.
- 6.1.6 A bay tree is proposed to be removed to facilitate the proposal.
- 6.1.7 The main considerations relevant to this application are:
- Design & Conservation
  - Amenity Impacts to Neighbouring Properties
  - Landscape & Trees
  - Biodiversity and Ecology
  - Energy & Sustainability
  - Drainage

Each of these considerations is discussed in turn below.

**6.2** **Design & Conservation**

- 6.2.1 Policies LP1 (Design Quality and Local Character) of the LP33 and D3 (Optimising Site Capacity through the Design-led Approach) of the London Plan seek to adopt a rigorous design approach and ensure that all new development be of the highest architectural and urban design quality. They require development to respond in a positive manner to the existing context and local character, be compatible with the existing townscape including urban grain and plot division, and where possible enhance it.
- 6.2.2 The site sits within the Northwold & Cazenove Conservation Area. Conservation Areas are protected through the Planning (Listed Buildings and Conservation Areas) Act 1990 and particularly section 72, which states: “*special attention shall*

*be paid to the desirability of preserving or enhancing the character or appearance of that area.”*

- 6.2.3 LP33 policy LP3 (Designated Heritage Assets) and policy HC1 (Heritage, Conservation and Growth) of the London Plan require development proposals affecting Conservation Areas or their settings to preserve or enhance the character and appearance of the area including, the established local character of individual buildings and groups of buildings (in terms of height, massing, scale, form, design, materials, detailing and use) and the rhythms and historical form of the area (in terms of the spaces between buildings, density, settings, building lines, siting, pattern of development, urban grain and plot coverage).
- 6.2.4 The proposed rear extension does not present any significant design issues. The minor scale, design and location is compatible with the existing dwelling ensuring the extension will not detract from the established residential character values and will have a minimal impact upon the appearance of the building and the wider conservation area.
- 6.2.5 Materials including brickwork to match existing and metal windows are generally considered acceptable in design terms. However, further detail should be provided in relation to the windows and doors as the simple description of ‘metal framing’ lacks clarity to fully assess its suitability. As such, in order to ensure the materials are of a suitable quality and the window frames are suitably slimline, a condition of permit will require the submission of material samples, window details and the brick bond.
- 6.2.6 The other changes proposed including replacement windows and staircase all considered appropriate subject to appropriate materials and detailing. As above, design details of the proposed windows will be required by condition. Materials details and detailed drawings will be required of the proposed replacement staircase.
- 6.2.7 Given the context of the site and the scale of the proposal, the development is considered to be in keeping with the character of the properties and the terrace. It would preserve the special character and appearance of the conservation area in compliance with Section 72 of the Act and would not harm the conservation area, in compliance with the relevant tests in the NPPF.
- 6.2.8 The development is considered acceptable in design and conservation terms, and would preserve the character and appearance of the terrace within which the property is located, the surrounding streetscene and wider conservation area.
- 6.2.9 The proposal complies with pertinent policies in the Hackney Local Plan 2033 (2020) and the London Plan (2021) and the granting of full planning permission is recommended subject to conditions regarding materials and detailing.

### **6.3 Amenity Impacts to Neighbouring Properties**

- 6.3.1 Policy LP2 of LP33 states that all new development must be appropriate to its location and should be designed to ensure that there are no significant adverse impacts on the amenity of neighbours. The individual and cumulative impacts of development proposals on amenity are relevant in considering their acceptability.

The consideration of the merits of development proposals will be balanced against the impact on amenity.

- 6.3.2 The potential impacts of residential works on the amenity values of neighbouring properties are generally considered to include daylight/sunlight, outlook (including bulk and dominance issues) and privacy/overlooking matters.
- 6.3.3 The nature of the lower ground floor extension is such that it would fit within the building bulk of the surrounding area and would be contained within the boundary western boundary wall and the existing closet wing to minimise their impact on the daylight/sunlight and outlook of neighbouring properties.
- 6.3.4 For similar reasoning the extensions would be acceptable in regard to bulk and dominance effects, and adequate outlook would be retained from surrounding properties.
- 6.3.5 The proposal's openings will share the same orientation to those existing on the property, ensuring privacy impacts are not worsened.
- 6.3.6 Given the above, the proposal is considered acceptable in amenity terms.

#### **6.4 Landscape & Trees**

- 6.4.1 A mature Sycamore tree is located approximately 12-15m from the proposed extension. As such, it is considered that the proposal would not unacceptably impact on this tree during the course of construction, given the distance between the two features.
- 6.4.2 A bay tree is proposed to be removed to facilitate the rear extension. This tree is considered to be of low retention quality and its loss is considered acceptable. To ensure that suitable replacement tree planting is undertaken, a condition of permit will require replacement tree planting in accordance with policies LP51 (Tree Management and Landscaping) of LP33 and G7 (Trees and Woodlands) of the London Plan.
- 6.4.3 On this basis, the proposal is acceptable on tree grounds.

#### **6.5 Biodiversity & Ecology**

- 6.5.1 Policy G5 (Urban Greening) of the London Plan and LP46 (Protection and Enhancement of Green Infrastructure) of LP33 requires that all development should enhance the network of green infrastructure and seek to improve access to open space.
- 6.5.2 The development, whilst not providing any additional open space, will ensure that the existing open space to the rear of the site is maintained.
- 6.5.3 Given the constraints of the site, the nature and scale of the proposed development and acknowledging that the development will not result in a net loss of biodiversity, the level of landscaping maintained within the rear garden is considered acceptable in this instance.

- 6.5.4 Policy G6 (Biodiversity and Access to Nature) of the London Plan states that development proposals should manage impacts on biodiversity and aim to secure net biodiversity gain. Policy LP47 (Biodiversity and Sites of Importance of Nature Conservation) of LP33 reinforces this policy, stating that all development should protect and, where possible, enhance biodiversity leading to a net gain.
- 6.5.5 In order to help preserve endangered urban biodiversity and result in protection of biodiversity values, it is considered that swift or bat boxes should be required as a condition of permit.
- 6.5.6 Given the small scale nature of the proposal, subject to the provision of bat or swift boxes, it is considered to have an acceptable impact on the biodiversity of the site and the wider Borough and is deemed to be in accordance with Hackney Local Plan policies LP46 and LP47 and London Plan policies G5 and G6.

## **6.6 Energy & Sustainability**

- 6.6.1 All new developments need to consider statutory requirements to reduce pollution, energy and carbon emissions, and should incorporate best practice design principles and guidance where appropriate.
- 6.6.2 Policy SI4 of the London Plan and LP54 of LP33 require all development to regulate internal and external temperatures through orientation, design, materials and technologies which avoid overheating, in response to the Urban Heat Island Effect and addressing climate change.
- 6.6.3 Policy LP55 of LP33 applies to all new developments and states they must actively seek to mitigate the impact of climate change through design which minimises exposure to the effects, and technologies which maximise sustainability.
- 6.6.4 A development of this scale would be expected to comply with any building regulations to ensure the statutory requirements to reduce pollution, energy and carbon emissions are met. The development would be required to demonstrate that it incorporates fabric efficiency measures.
- 6.6.5 The proposed extension will enhance the heat retention of the unit through the use of solid masonry and by constructing an insulated cavity wall. Furthermore, the proposal will replace the existing single-glazed windows with double-glazed windows to improve the thermal efficiency of the windows.
- 6.6.6 Overall, the proposal is considered to result in a sustainable form of development. The proposal is considered to result in a sustainable form of development and is deemed to be in accordance with London Plan policy S1 4 and LP33 policies LP54 and LP55.

## **6.7 Drainage**

- 6.7.1 London Plan policy SI 12 states that development proposals must comply with the flood risk assessment and management requirements over the lifetime of the development and have regard to measures proposed in flood management plans. Policy SI13 of the London Plan states that development proposals should aim to

achieve greenfield run-off rates and ensure that surface water run-off is managed as close to its source as possible.

- 6.7.2 Policy LP53 of LP33 requires all development to have regard to reducing flood risk, both to and from the site, over its expected lifetime. The policy further states that all development should decrease vulnerability to flooding through appropriate siting, design and on-, and off-site mitigation.
- 6.7.3 The proposed extension has a minor footprint of 5sqm and is located on an area of existing hardstanding below a terrace. The proposal is not located within a critical drainage area and proposes to retain a significant amount of planting and permeable area within the rear garden. As such, and given the scale of the development, no mitigation measures are considered necessary in this instance.

## **7.0 CONCLUSION**

- 7.1 The proposed design, scale and position of the development will respect the character and appearance of the subject building and the surrounding streetscene, would not harm the setting of the conservation area and would not have an unacceptable detrimental impact on the amenity of adjoining occupiers.
- 7.2 The proposal is deemed to comply with the relevant policies in the Hackney Local Plan 2033 (2020) and the London Plan (2021) and the granting of planning permission is recommended subject to conditions.

### 8.0 RECOMMENDATIONS

#### Recommendation A

8.1 That planning permission be GRANTED, subject to the following conditions:

##### 8.1.1 **Commencement within three years**

The development hereby permitted must be begun not later than three years after the date of this permission.

REASON: In order to comply with the provisions of Section 91(1) of the Town and Country Planning Act 1990 as amended.

##### 8.1.2 **Development in accordance with plans**

The development hereby permitted shall only be carried out and completed strictly in accordance with the submitted plans hereby approved and any subsequent approval of details.

REASON: To ensure that the development hereby permitted is carried out in full accordance with the plans hereby approved.

##### 8.1.3 **Materials samples**

Full details and physical samples of materials used for all external surfaces including roofing, cladding, walling and glazing must be submitted to and approved by the Local Planning Authority, in writing, before any work on the relevant parts are commenced. The development shall not be carried out otherwise than in accordance with the materials thus approved which shall be implemented in full prior to the first use of the development and retained in perpetuity

REASON: To ensure the external appearance of the building is satisfactory and does not detract from the character and appearance of the Northwold & Cazenove Conservation Area.

##### 8.1.4 **Detailed Drawings**

Detailed drawings of the proposed development showing the matters set out below must be submitted to and approved by the Local Planning Authority, in writing, before the relevant parts of the works are commenced. The development shall not be carried out otherwise than in accordance with the details thus approved which shall be implemented in full prior to the first occupation of the development.

a) 1:20 sections and elevations of the windows and 1:5 sections of the glazing bars.

b) Details of the brick bond, mortar and proposed joins to the original building.

c) Materials details and 1:20 sections and elevations of the proposed staircase.

REASON: To ensure that the external appearance of the building is satisfactory and does not detract from the character and visual amenity of the Northwold & Cazenove Conservation Area.



**8.1.5 Tree Replacement**

Prior to superstructure works, details of replacement planting within the rear garden must be submitted to and approved by the Local Planning Authority in writing.

The replacement planting, when approved, shall be carried out within a period of twelve months from the date on which the development of the site commences or shall be carried out in the first planting (and seeding) season following completion of the development, and shall be maintained to the satisfaction of the Local Planning Authority for a period of ten years, such maintenance to include the replacement of any plants that die, or are severely damaged, seriously diseased, or removed.

REASON: In the interest of providing reasonable environmental standards and enhancing biodiversity.

**8.1.6 Biodiversity**

Prior to the first occupation of the development hereby approved a minimum of two nesting bricks and/or boxes shall be provided at or close to eaves level of the development hereby approved. The bricks/boxes shall be retained thereafter in perpetuity.

REASON: In the interests of biodiversity

**Recommendation B**

8.2 That the Sub-Committee grants delegated authority to the Director of Public Realm and Head of Planning (or in their absence either the Growth Team Manager or DM & Enforcement Manager) to make any minor alterations, additions or deletions to the recommended conditions set out in this report provided this authority shall be exercised after consultation with the Chair (or in their absence the Vice-Chair) of the Sub-Committee (who may request that such alterations, additions or deletions be first approved by the Sub-Committee).

**9.0 INFORMATIVES**

The following informatives should be added:

- SI.1 Building Control
- SI.7 Hours of Building Works
- NPPF Applicant/Agent Engagement

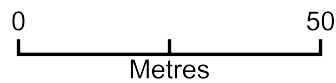
**Signed..... Date.....**

**Aled Richards** - Director, Public Realm

No.	Background Papers	Name, Designation & Telephone Extension of Original Copy	Location Contact Officer
1.	Application documents and LBH policies/guidance referred to in this	Alix Hauser Planning Officer	2 Hillman Street London

	<p>report are available for inspection on the Council's website</p> <p>Policy/guidance from other authorities/bodies referred to in this report are available for inspection on the website of the relevant authorities/bodies</p> <p>Other background papers referred to in this report are available for inspection upon request to the officer named in this section.</p> <p>All documents that are material to the preparation of this report are referenced in the report</p>	x6377	E8 1FB
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# 96A Brooke Road



Plan Produced for: Studio Hallett Ike  
Date Produced: 10 Aug 2021  
Plan Reference Number: TQRQM21222154738360  
Scale: 1:1250 @ A4

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Application Reference	Application Type	Location Description	Proposal	Officer Name	Ward	Decision	Decision Issued Date
2021/2929	Certificate of Lawful Development Existing/Proposed	134 Nevill Road, Hackney, London, N16 0SX	Proposed erection of roof extension above rear outrigger	Louise Prew	Stoke Newington Ward	Grant	23-11-2021
2021/2017	Discharge of Condition	109 Middleton Road, London E8 4LN	Submission of details pursuant to condition 3 (details of materials) attached to planning permission ref 2019/2814, dated 09/10/2019	Danny Huber	London Fields Ward	Grant	23-11-2021
2021/2656	Full Planning Permission	35 Luke Street, Hackney, London, EC2A 4LH	External alterations to existing commercial building rooftop terrace to include a boundary barrier	Erin Glancy	Hoxton East and Shoreditch Ward	Granted - Extra Conditions	23-11-2021
2021/1921	Full Planning Permission	24 Kingsland Road, London, E2 8DA	Replacement of felt roof coverings with standing seam zinc, alterations to rear dormers; insertion of two roof lights; replacement of windows to front and rear with double glazed timber sash windows incorporating acoustic glazing; restoration of front facade	Danny Huber	Hoxton East and Shoreditch Ward	Granted - Standard Conditions	23-11-2021
2021/0930	Full Planning Permission	Harmer Ridley Road Shopping Village, 51 - 63 Ridley Road, Hackney, London, E8 2NP	External alterations including replacement windows, redecoration of existing brickwork external walls, installation of new doors, gates and roller shutters and alterations to facing materials; and installation of new condenser units on roof.	Louise Prew	Dalston Ward	Granted - Standard Conditions	23-11-2021
2021/3006	Works to a Tree in Conservation Area Notification	12 Queen Elizabeths Walk, Hackney, London, N16 0HX	T1: Ash has Ganoderma, the tree has a cavity at the base, fungal brackets and crown dieback: Fell to ground level. T2: Pear: Rotten thoroughly throughout: Fell to ground level.		Clissold Ward	No Objection	23-11-2021
2021/3004	Works to a Tree in Conservation Area Notification	46 Harrowgate Road, Hackney, London, E9 5ED	T1 = To Reduce 1 X Sycamore Tree by 2.0/3.0Mtrs Property Encroachment Light Access General Maintenance	Leif Mortensen	Hackney Downs Ward	No Objection	23-11-2021
2021/3002	Works to a Tree in Conservation Area Notification	16 Groombridge Road, Hackney, London, E9 7DP	Reduction in height of 1 x Ash up to 5 metres. Tree to maintain shape and size appropriate to garden location. Balance Crown to a more natural shape if necessary, removal of rubbing and crossing branches within the crown to prevent abrasion damage.		Victoria Ward	No Objection	23-11-2021
2021/2995	Works to a Tree in Conservation Area Notification	152 De Beauvoir Road, Hackney, London, N1 4DJ	Front Garden: T1-Lime, Reduce back to previous reduction points.	Leif Mortensen	De Beauvoir Ward	No Objection	23-11-2021
2021/2988	Works to a Tree in Conservation Area Notification	118 Evering Road, Hackney, London, N16 7BD	T1 London plane, front of 118 Evering Road Reduce back to previous points retaining pollard knuckles	Leif Mortensen	Hackney Downs Ward	No Objection	23-11-2021
2021/2834	Certificate of Lawful Development Existing/Proposed	Flat 6, 2 Martel Place, Hackney, London, E8 2FQ	Existing use of the premises as a self-contained dwelling (use class C3)	Micheal Garvey	Dalston Ward	Grant	24-11-2021

Application Reference	Application Type	Location Description	Proposal	Officer Name	Ward	Decision	Decision Issued Date
2021/2952	Householder Planning	134 Nevill Road, Hackney, London, N16 0SX	Erection of a mansard extension to create an additional storey	Louise Prew	Stoke Newington Ward	Granted - Standard Conditions	24-11-2021
2021/2906	Householder Planning	80 Winston Road, Hackney, London, N16 9LR	Erection of mansard-style roof extension	Gerard Livett	Clissold Ward	Granted - Standard Conditions	24-11-2021
2021/2016	Full Planning Permission	64 and 66 Yoakley Road, Hackney, London, N16 0BB	Construction of a pair of slate mansard roof extensions with lead clad dormer windows at front and rear and two skylights on each building.	Danny Huber	Stoke Newington Ward	Granted - Standard Conditions	24-11-2021
2021/2945	Prior Telecommunications Notice	British Telecom Telephone Exchange Paragon Road, Hackney, London, E9 6NP	Prior approval for siting and appearance: Installation of 18 antennae and other structures and one equipment cabinet on roof of existing building with ancillary structures	Danny Huber	Homerton Ward	Refuse	24-11-2021
2021/2844	Full Planning Permission	Flat 15, 3 Queensdown Road, Hackney, London, E5 8NN	Erection of roof terrace at roof level	Micheal Garvey	Hackney Downs Ward	Refuse	24-11-2021
2021/3146	Discharge of Condition	Will Wyatt Court, 168 Pitfield Street, Hackney, London, N1 6JP	Submission of details pursuant to condition 4 (Cladding details) of planning permission ref 2020/3317 dated 05/05/2021	Louise Prew	Hoxton East and Shoreditch Ward	Grant	25-11-2021
2021/2777	Advertisement Consent	Ground Floor Shoreditch Exchange, 93-137 Hackney Road, Hackney, London, E28ET	Installation of 1 internally illuminated fascia sign, 1 internally illuminated projecting sign and window vinyls	Raymond Okot	Haggerston Ward	Grant	25-11-2021
2021/2940	Full Planning Permission	Unit 10, Stamford Works Gillett Street, Hackney, London, N16 8JH	Demolition of an existing toilet block at second floor (roof) level and erection of new extension at second floor level at Unit 10 Stamford Works.	Gerard Livett	Dalston Ward	Granted - Extra Conditions	25-11-2021
2021/3448	Works to Tree with Preservation Order	Beis Chinuch Lebonos Girls School, Beis Chinuch Lebonos Girls Junior School, Woodberry Down Centre Woodberry Down, Hackney, London, N4 2SH	T1- Horse Chestnut, - Aesculus hippocastanum) Tree has been previously pollarded, it is now in severe decline and have severe basal decay and fungal brackets present all over the base and upper crown, the tree should be felled and replaced. Replacement tree will be discussed with the Arboricultural Officer of Hackney Council, and the replacement will be planted within 2 years.	Leif Mortensen	Woodberry Down Ward	Granted - Standard Conditions	25-11-2021
2021/2939	Householder Planning	14 Meynell Crescent, Hackney, London, E9 7AS	Installation of two rooflights in the outrigger roofslope together with replacement roof tiles.	James Clark	Hackney Wick Ward	Granted - Standard Conditions	25-11-2021
2021/2843	Householder Planning	53 Benthall Road, Hackney, London, N16 7AR	Erection of bike and bin storage in front garden	Louise Prew	Hackney Downs Ward	Granted - Standard Conditions	25-11-2021
2021/0913	Full Planning Permission	Basement Flat, 19 Kyverdale Road, Hackney, London, N16 7AB	Removal of existing non original windows and replacement with new timber sliding sash windows to match originals.	Raymond Okot	Cazenove Ward	Granted - Standard Conditions	25-11-2021
2021/3082	Discharge of Condition	28 Queen Anne Road, Hackney, London, E9 7AH	Submission of details pursuant to condition 3 (SUDs) attached to planning permission 2021/1865 dated 06/08/2021.	James Clark	Hackney Wick Ward	Grant	26-11-2021

Application Reference	Application Type	Location Description	Proposal	Officer Name	Ward	Decision	Decision Issued Date
2021/3071	Discharge of Condition	123 Bouverie Road, Hackney, London, N16 0AA	Submission of details pursuant to condition 3 (drainage) and 4 (flood resilience) attached to planning permission 2021/1657 dated 09/09/2021.	James Clark	Stoke Newington Ward	Grant	26-11-2021
2021/3030	Certificate of Lawful Development Existing/Proposed	78 Powerscroft Road, Hackney, London, E5 0PP	Lawful development certificate (proposed) for the construction of a rear outbuilding.	James Clark	Lea Bridge Ward	Grant	26-11-2021
2021/3024	Certificate of Lawful Development Existing/Proposed	55 Leswin Road, Hackney, London, N16 7NX	Lawful development certificate (proposed) for the construction of a rear roof and outrigger roof extension together with the installation of rooflights in the front roofslope.	James Clark	Stoke Newington Ward	Grant	26-11-2021
2021/3007	Householder Planning	94 Olinda Road, Hackney, London, N16 6TP	Construction of a first floor rear extension.	James Clark	Springfield Ward	Grant	26-11-2021
2021/2968	Full Planning Permission	30 - 31 East Bank, Hackney, London, N16 5QS	Erection of a single storey ground floor rear extension to no. 30 East Bank; Retrospective for retention of single storey ground floor rear extension no. 31 East Bank	Micheal Garvey	Stamford Hill West Ward	Granted - Standard Conditions	26-11-2021
2021/2954	Householder Planning	68 Ufton Road, Hackney, London, N1 4HH	Replacement of existing garage door with new double doorset (in order to facilitate the conversion of integral garage space to internal study area)	Raymond Okot	De Beauvoir Ward	Granted - Standard Conditions	26-11-2021
2021/1741	Full Planning Permission	76 Reighton Road, Hackney, London, E5 8SG	Erection of mansard-style roof extension	Gerard Livett	Hackney Downs Ward	Granted - Standard Conditions	26-11-2021
2021/2802	Prior Notification - Commercial	Oak Apartments, 42 Well Street, Hackney, London, E9 7PX	Prior notification under Class MA of Part 3, Schedule 2, of the GPDO 2015 to change the use from offices (Use Class E) to 2 residential units (Use Class C3).	James Clark	Victoria Ward	Refuse	26-11-2021
2021/3218	Discharge of Condition	24 Overlea Road, London, E5 9BG	Submission of details pursuant to condition 4 (Suds) attached to planning permission 2021/2073 dated 25/08/2021.	Alix Hauser	Springfield Ward	Grant	29-11-2021
2021/2975	Householder Planning	13 Lavender Grove, London, E8 3LU	Excavation of basement including front lightwell; enlargement of existing side infill extension; installation of rooflights to rear roof slope and roof of outrigger.	Alix Hauser	London Fields Ward	Grant	29-11-2021
2021/2081	Full Planning Permission	1-9 Seville Mews, Hackney, London, N1 5BW	Replacement of the existing front and rear single glazed timber windows with new double glazing timber windows in white to match the existing ones. Replacement of front entrance and storage doors with new timber doors to match the existing ones.	Lasma Putrina	De Beauvoir Ward	Grant	29-11-2021
2021/1703	Certificate of Lawful Development Existing/Proposed	16 Kynaston Road, Hackney, London, N16 0EX	Construction of an L-shaped rear dormer extension over the main and outrigger roof together with installation of 2 x rooflights to the front roof slope	Lasma Putrina	Stoke Newington Ward	Grant	29-11-2021



Application Reference	Application Type	Location Description	Proposal	Officer Name	Ward	Decision	Decision Issued Date
2021/2977	Householder Planning	151 Powerscroft Road, Hackney, London, E5 0PR	Erection of a mansard roof extension, creation of new front lightwell with associated bay window	Raymond Okot	Lea Bridge Ward	Granted - Standard Conditions	29-11-2021
2021/0865	Full Planning Permission	103 Osbaldeston Road, Hackney, London, N16 6NP	Single storey ground floor extension with basement extension and rear lightwell and stairs to garden.	Louise Prew	Cazenove Ward	Granted - Standard Conditions	29-11-2021
2021/2992	Prior approval - Enlargement of a Dwellinghouse	20a Manor Road, Hackney, London, N16 5SA	Prior approval for the erection of an additional storey (with a maximum height of 2.8m) to the existing two-storey dwellinghouse (for a maximum overall height of 11.1 metres).	Alix Hauser	Stamford Hill West Ward	Refuse	29-11-2021
2021/2974	Householder Planning	30 Braydon Road, Hackney, London, N16 6QB	Erection of single-storey rear and infill extension together with the enlargement of the basement, the construction of front and rear lightwells along with associated works and other minor works such as the alterations to the fenestration and the removal of a rooflight.	James Clark	Cazenove Ward	Refuse	29-11-2021
2021/2958	Householder Planning	18 Durley Road, Hackney, London, N16 5JS	Erection of first-floor infill extension.	Louise Prew	Stamford Hill West Ward	Refuse	29-11-2021
2021/3400	Discharge of Condition	1 Sutton Place, Hackney, London, E9 6EH	Submission of details pursuant to condition 6 (bricks and pointing) attached to Listed Building Consent 2021/2246 dated 25th October 2021.	Timothy Walder	Homerton Ward	Grant	30-11-2021
2021/2983	Full Planning Permission	73 Lower Clapton Road, Hackney, London, E5 0NP	Change of use of the rear outbuilding from ancillary retail (land-use class E) to office (land use class E)	James Clark	Homerton Ward	Grant	30-11-2021
2021/2966	Certificate of Lawful Development Existing/Proposed	34 Lordship Park, Hackney, London, N16 5UD	Existing use of the property as five self-contained units (Use Class C3)	Louise Prew	Clissold Ward	Grant	30-11-2021
2021/2857	Householder Planning	46 Lordship Park, Hackney, London, N16 5UD	Demolition of existing single storey rear extension and erection of new single storey and storey and a half rear extensions. Erection of two rear dormers, excavation to front elevation to form front light well and basement window, enlargement of existing basement and erection of an outbuilding.	Micheal Garvey	Clissold Ward	Granted - Extra Conditions	30-11-2021
2020/4110	Full Planning Permission	209 - 233 Hoxton Street, Hackney, London, N1 5LG	Demolition of existing Class E(a) (formerly Class A1) retail units and construction of a part-three, part-four and part-five storey over basement building containing Class E(a) retail floorspace at ground and basement level and 25 Private Rented Sector residential units (Class C3) on the upper floors with related facilities, including plant and cycle parking.	Barry Coughlan	Hoxton East and Shoreditch Ward	Granted - Extra Conditions	30-11-2021
2021/2953	Householder Planning	49 Bakers Hill, Hackney, London, E5 9HL	Erection of single storey rear/side extension	Danny Huber	Springfield Ward	Granted - Standard Conditions	30-11-2021

Application Reference	Application Type	Location Description	Proposal	Officer Name	Ward	Decision	Decision Issued Date
2021/2245	Listed Building Consent	1 Sutton Place, Hackney, London, E9 6EH	Replacement of patio doors and window on the third floor rear elevation with double glazed door and window, reinstate window to rear lower ground floor level and insert a ventilation fan grill externally on side wall	Timothy Walder	Homerton Ward	Granted - Standard Conditions	30-11-2021
2021/1995	Full Planning Permission	Flat A, 99 Forest Road, Hackney, London, E8 3BH	Erection of a single storey rear extension and front stair alteration to the lower ground floor flat.	Seonaid Carr	Dalston Ward	Granted - Standard Conditions	30-11-2021
2021/1597	Householder Planning	1 Sutton Place, Hackney, London, E9 6EH	Replacement of patio doors and window on the third floor rear elevation with double glazed door and window, reinstate window to rear lower ground floor level and insert a ventilation fan grill externally on side wall	Timothy Walder	Homerton Ward	Granted - Standard Conditions	30-11-2021
2021/3046	Discharge of Condition	136 Culford Road, Hackney, London, N1 4HU	Submission of details pursuant to condition 3 (SuDs) attached to planning permission 2021/2311 dated 08/09/2021.	James Clark	De Beauvoir Ward	Grant	01-12-2021
2021/2990	Certificate of Lawful Development Existing/Proposed	30 Firsby Road, Hackney, London, N16 6QA	Proposed erection of a rear dormer to main roof and outrigger	Danny Huber	Cazenove Ward	Grant	01-12-2021
2021/2848	Listed Building Consent	Haggerston Secondary School Weymouth Terrace, Hackney, London, E2 8LS	Replacement of roof coverings and insulation of Blocks A, C, Link Roofs and Boiler Room; removal of tank enclosure on Block C; replacement of roof lights on Blocks A and installation of rainwater downpipes; replacement and repointing of brickwork and doors to boiler room.	Alix Hauser	Haggerston Ward	Grant	01-12-2021
2021/2094	Full Planning Permission	Flat B, 253 Glyn Road, Hackney, London, E5 0JP	Replacement of existing front and rear single glazed aluminum windows with new double glazing uPVC windows in white	Lasma Putrina	Kings Park Ward	Grant	01-12-2021
2021/2980	Householder Planning	30 Firsby Road, Hackney, London, N16 6QA	Erection of a ground floor rear/side wrap around extension	Danny Huber	Cazenove Ward	Granted - Standard Conditions	01-12-2021
2021/2431	Full Planning Permission	Clapton Girls Technology College Laura Place, Hackney, London, E5 0RB	Erection of single storey extension to south-west elevation to provide a kiln	Micheal Garvey	Lea Bridge Ward	Granted - Standard Conditions	01-12-2021
2020/4080	Full Planning Permission	Violet Cakes, 47 Wilton Way, Hackney, London, E8 3ED	Alterations involving the enclosure of rear kitchen area (retrospective), installation of 1no. air conditioning condenser (retrospective) and installation of lightweight metal gates to existing bin storage area.	Benjamin Coffie	Dalston Ward	Refuse	01-12-2021

Application Reference	Application Type	Location Description	Proposal	Officer Name	Ward	Decision	Decision Issued Date
2020/3103	Full Planning Permission	Violet Cakes, 47 Wilton Way, Hackney, London, E8 3ED	Creation of outdoor seating area for adjacent bakery with the installation of semi-permanent furniture and lightweight timber and metal structure, minor works to existing building including the installation of a new entrance and new door to external yard (retrospective) and extension of disused substation for use as storage area.	Benjamin Coffie	Dalston Ward	Refuse	01-12-2021
2021/2353	Householder Planning	64 Durlston Road, Hackney, London, E5 8RR	Construction of roof extensions to rear roof slope and between central roof valley, together with installation of 2 x rooflights to the rear roof slope of the outrigger and 1 rooflight on the front elevation.	Lasma Putrina	Cazenove Ward	Grant	02-12-2021
2021/2985	Full Planning Permission	1 Principal Place Worship Street, Hackney, London, EC2A 2BA	Temporary installation of sculptures for a temporary period between 29 November 2021 and 30 January 2022.	Erin Glancy	Hoxton East and Shoreditch Ward	Granted - Extra Conditions	02-12-2021
2021/2826	Listed Building Consent	Shoreditch Town Hall, 380 Old Street, Hackney, London, EC1V 9LT	Minor alterations to WCs areas, entrance hall and adjacent rooms including introduction of new security measures. Refurbishment of reception counter/desk. Installation of bar/café with new kitchen and associated ventilation equipment. Replacement of external lift with new ramp. Installation of new illuminated metalwork portal at entrance to basement.	Louise Prew	Hoxton East and Shoreditch Ward	Granted - Extra Conditions	02-12-2021
2021/0274	Householder Planning	114 Culford Road, Hackney, London, N1 4HN	Replacement of 2 x top floor and 1 x raised ground floor front elevation windows with double glazed windows.	Erin Glancy	De Beauvoir Ward	Granted - Extra Conditions	02-12-2021
2021/3001	Householder Planning	98 Albion Drive, London, E8 4LY	Enlargement of front lightwell and existing lower ground floor door within the front elevation; replacement of door; landscaping alterations and associated works	Danny Huber	London Fields Ward	Granted - Standard Conditions	02-12-2021
2021/2825	Full Planning Permission	Shoreditch Town Hall, 380 Old Street, Hackney, London, EC1V 9LT	Change of use for part of building from offices (Use Class E) to bar/café (Sui Generis) with new kitchen and associated ventilation equipment. Replacement of external lift with new ramp. Installation of new illuminated metalwork portal at entrance to basement.	Louise Prew	Hoxton East and Shoreditch Ward	Granted - Standard Conditions	02-12-2021
2021/3069	Prior Notification - Larger Home Extension	21 Darville Road, Hackney, London, N16 7PT	Erection of a single storey side extension measuring 4.9m deep from rear wall of main house and eaves height of 2.5m at the boundary; Replacement of existing rear windows with timber windows.	Raymond Okot	Stoke Newington Ward	Grant	03-12-2021
2021/3060	Householder Planning	134 Clapton Common, London, E5 9AG	Erection of a part-single, part two-storey rear extension and erection of rear and side dormer windows and rooflights to front and side roof slopes.	Alix Hauser	Springfield Ward	Grant	03-12-2021

Application Reference	Application Type	Location Description	Proposal	Officer Name	Ward	Decision	Decision Issued Date
2021/2271	Full Planning Permission	14-24 Sedgwick Street, Hackney, London, E9 6AE	Replacement of existing cladding and balcony decking to comply with the current building regulations.	Raymond Okot	Homerton Ward	Granted - Standard Conditions	03-12-2021
2021/2156	Householder Planning	18 Durley Road, Hackney, London, N16 5JS	Excavation of front and rear lightwells with front bay window, and erection of a two-storey rear extension over basement and ground floor levels	Louise Prew	Stamford Hill West Ward	Granted - Standard Conditions	03-12-2021
2021/3016	Householder Planning	200 Millfields Road, London, E5 0AR	Erection of a mansard-style roof extension; demolition of existing two storey rear outrigger and erection of a three storey rear extension and a single storey ground floor side extension; elevational alterations	Danny Huber	Kings Park Ward	Refuse	03-12-2021
2021/0730	Full Planning Permission	16 Northwold Road, Hackney, London, N16 7HR	Erection of roof extension to the rear, including relocation of existing plant equipment, extension of existing external stairs, extension of lift shaft and new balustrade at roof level and associated external works.	Lasma Putrina	Stoke Newington Ward	Grant	06-12-2021
2021/3053	Full Planning Permission	Nature Store, 209-211 Stoke Newington High Street, Hackney, London, N16 0LH	Installation of ATM (Automatic Teller Machine) [Retrospective]	Gerard Livett	Stoke Newington Ward	Granted - Standard Conditions	06-12-2021
2021/3019	Householder Planning	29 Ashenden Road, Hackney, London, E5 0DP	Erection of ground floor rear/side extension and replacement of rear windows to first floor level.	Danny Huber	Kings Park Ward	Granted - Standard Conditions	06-12-2021
2021/3013	Advertisement Consent	Intercontinental Food & Wine, Grocery Shop, 209 - 211 Stoke Newington High Street, Hackney, London, N16 0LH	Display of illuminated ATM surround [Retrospective]	Gerard Livett	Stoke Newington Ward	Granted - Standard Conditions	06-12-2021
2021/1867	Works to a Tree in Conservation Area Notification	Flat A, 107 Osbaldeston Road, Hackney, London, N16 6NP	Rear Garden - Back Boundary Left Hand Side T1 - Ash Reduce length of all branches by up to 1.8-2 metre ensuring natural shape and balance typical of species is maintained where possible. Remove dead and diseased wood, Lift to 3 metres. ♦♦♦The tree is located in the rear garden to the left hand side of the rear boundary ♦♦♦Reduction works are part of a maintenance program to maintain the tree at a suitable and desirable size for its location ♦♦♦To reduce the extent of the encroachment from the adjacent neighbouring gardens ♦♦♦To allow suitable light levels in to the neighbouring gardens and rear boundary area	Leif Mortensen	Cazenove Ward	No Objection	06-12-2021
2021/3034	Householder Planning	13 Barbould Road, London, N16 0SD	Erection of a mansard-style roof extension; raising of party walls at roof level	Danny Huber	Stoke Newington Ward	Refuse	06-12-2021

Application Reference	Application Type	Location Description	Proposal	Officer Name	Ward	Decision	Decision Issued Date
2021/3022	Householder Planning	36 Seal Street, Hackney, London, E8 2EE	Erection of a rear roof extension, erection of a single storey ground floor infill extension with additional bi-fold doors and replacement of rear window at first floor level.	Raymond Okot	Shacklewell Ward	Refuse	06-12-2021
2021/3020	Full Planning Permission	8 - 10, Barkway Court, Brownswood, Hackney, London, N4 2XS	Erection of single-storey extension at ground floor level to provide enclosed canopy to retail unit	Gerard Livett	Brownswood Ward	Refuse	06-12-2021
2021/2999	Full Planning Permission	Flat 3, 68 - 70 Leonard Street, Hackney, London, EC2A 4QX	Erection of a roof extension and creation of a new dwelling.	Erin Glancy	Hoxton East and Shoreditch Ward	Refuse	06-12-2021
2021/2960	Prior approval - new dwellings	129 Pritchards Road, London, E2 9AP	Prior approval for the erection of two additional storeys (with a maximum height of 5.65m) to the existing part six, part five, part four-storey mixed-use building (for a maximum overall height of 17.98 metres) to provide ten self-contained residential units (Use Class C3).	Alix Hauser	Haggerston Ward	Refuse	06-12-2021
2021/2818	Full Planning Permission	28a and 28b Lampard Grove, Hackney, London, N16 6XB	Erection of a single story rear extension to both properties each with a roof lantern	Louise Prew	Cazenove Ward	Refuse	06-12-2021
2021/3154	Certificate of Lawful Development Existing/Proposed	103 Ravensdale Road, Hackney, London, N16 6TH	Lawful development certificate for the construction of an outrigger roof extension together with the removal of a rooflight.	James Clark	Springfield Ward	Grant	07-12-2021
2021/3097	Certificate of Lawful Development Existing/Proposed	128 Olinda Road, Hackney, London, N16 6TP	Lawful development certificate for the construction of an rear roof and outrigger roof extension together with the installation of three rooflights in the front roofslope.	James Clark	Springfield Ward	Grant	07-12-2021
2021/2250	Discharge of Condition	3 Heathland Road, Hackney, London, N16 5PD	Submission of details pursuant to condition 4 (drainage) of planning permission 2021/0485 dated 28/05/2021.		Stamford Hill West Ward	Grant	07-12-2021
2021/2187	Discharge of Condition	Railway Arch 322-324 Acton Mews, London, E8 4EA	Submission of details pursuant to condition 4 (Suitable cleaning schedule) of planning permission 2020/3545 dated 26/02/2021	Danny Huber	Haggerston Ward	Grant	07-12-2021
2021/1897	Removal/Variation of Condition(s)	86 Osbaldeston Road, Hackney, London, N16 6NL	Variation to planning permission 2019/2718 granted 03-10-2019 for the 'Erection of a rear dormer extension with Sukkah roof. Changes to the front elevation above the bay window with the creation of a new roof.' Variations include the modification of condition 1 (approved plans) to change the approved fenestration pattern and create a succah roof.	James Clark	Cazenove Ward	Grant	07-12-2021
2021/3042	Householder Planning	138 Stamford Hill, London, N16 6QT	Erection of a part single storey, part two storey rear/side extension at ground and first floor; a front extension at ground floor; elevational alterations	Danny Huber	Springfield Ward	Granted - Extra Conditions	07-12-2021
2020/3285	Full Planning Permission	56 Allerton Road, Hackney, London, N16 5UF	Erection of a single-storey side/ rear extension at ground floor level; conversion of property from single dwelling to 3 self-contained flats.	Micheal Garvey	Stamford Hill West Ward	Granted - Extra Conditions	07-12-2021

Application Reference	Application Type	Location Description	Proposal	Officer Name	Ward	Decision	Decision Issued Date
2021/1033	Full Planning Permission	127 Queens Drive, Hackney, London, N4 2BB	Replacement of windows to first floor rear and first floor sides	Timothy Walder	Brownswood Ward	Granted - Standard Conditions	07-12-2021
2021/0958	Full Planning Permission	Second And Third Floor 24 - 26 Charlotte Road, Hackney, London, EC2A 3PB	Installation of obscured film onto rear 2nd and 3rd floor curtain wall glazing upto 1.5m above internal floor level.	Ryan Pinkett	Hoxton East and Shoreditch Ward	Granted - Standard Conditions	07-12-2021
2021/3091	Works to a Tree in Conservation Area Notification	46a Wilton Way, Hackney, London, E8 1BG	Rear Garden : London plane (T1) - Fell. There is significant heartwood decay from ground level to at least 3m above ground. The cavity is clearly visible. The crown overhangs the new development on site and 2 adjacent buildings. If the tree were to fail the consequences would be extreme. Long term retainability is low. Remove and replant Tulip Tree ( Liriodendron tulipifera) 12-14 cm Girth	Leif Mortensen	Hackney Central Ward	No Objection	07-12-2021
2021/1688	Listed Building Consent	13 Clissold Road, Hackney, London, N16 9EX	Erection of two rear dormer windows to numbers 11 & 13 with balconies, to facilitate the conversion of the two top floor flats into three self-contained flats including internal alterations at third and roof levels	Louise Prew	Clissold Ward	Refuse	07-12-2021
2021/1422	Full Planning Permission	11, 13 & 15 Clissold Road, Hackney, London, N16 9EX	Erection of two rear dormer windows to numbers 11 & 13 with balconies, to facilitate the conversion of the two top floor flats into three self-contained flats.	Louise Prew	Clissold Ward	Refuse	07-12-2021
2021/2323	Full Planning Permission	Ground Floor, 18 Median Road, Hackney, London, E5 0PL	Construction of a ground floor rear infill extension, replacement of existing front window with a larger new window	Lasma Putrina	Lea Bridge Ward	Grant	08-12-2021
2021/2200	Householder Planning	1A Charnock Road, Hackney, London, E5 8DP	Construction of new front steps leading to a new raised ground floor main entrance door with storage cupboard beneath steps; together with replacement of the existing lower ground floor entrance door with a window	Lasma Putrina	Hackney Downs Ward	Grant	08-12-2021
2021/3061	Householder Planning	101 Osbaldeston Road, Hackney, London, N16 6NP	Excavation and extension of existing basement together with front and rear lightwells, replacement of front garage door with bay window, single storey rear extension, and erection of new front boundary wall	Erin Glancy	Cazenove Ward	Granted - Extra Conditions	08-12-2021
2021/2894	Householder Planning	102 Middleton Road, Hackney, London, E8 4LN	New rear ground floor extension replacing existing rear extension, small glazed basement extension and loft dormer extension.	Erin Glancy	London Fields Ward	Granted - Extra Conditions	08-12-2021
2020/4098	Full Planning Permission	Rear of 74 - 76 Kingsland High Street, Hackney, London, E8 2NS	Erection of part three- and part four-storey building, plus basement, to provide office (Use Class E) floorspace; following demolition of existing building on site following demolition of existing building on site	Gerard Livett	Dalston Ward	Granted - Extra Conditions	08-12-2021

Application Reference	Application Type	Location Description	Proposal	Officer Name	Ward	Decision	Decision Issued Date
2021/3055	Householder Planning	134 Clapton Common, Hackney, London, E5 9AG	Erection of single storey ground floor rear infill extension and first floor rear extension and roof extension with rear and side dormers	Micheal Garvey	Springfield Ward	Granted - Standard Conditions	08-12-2021
2021/2422	Full Planning Permission	Bowling Green Pavillion, Clissold Park Green Lanes, Hackney	Installation of a splash pad to the bowling green and amendments to the bowling pavilion to create water treatment plantroom with new toilet and showering facilities.	Danny Huber	Clissold Ward	Granted - Standard Conditions	08-12-2021
2021/3054	Screening Opinion	Telephone House, 69 - 77 Paul Street, Hackney, London, EC2A 4NW	Request for an Environmental Impact Assessment (EIA) Screening Opinion under the Town and County Planning (Environmental Impact Assessment) Regulations 2017 (as amended) for a development consisting of demolition of the existing building and redevelopment of the site with the erection of a new building ranging from 6 to 10 storeys in height to provide up to 2,500sqm of Use Class E(a)/(b) retail space at ground and lower ground floor level and up to 35,000sqm of Class E(g) office floorspace on the upper floors, together with the provision of roof-level amenity space, cycle parking and changing facilities, refuse storage facilities, and landscaped public realm.	Nick Bovaird	Hoxton East and Shoreditch Ward	No ES Required	08-12-2021
2021/3190	Works to a Tree in Conservation Area Notification	16 Ufton Grove, Hackney, London, N1 4HG	T1: Sycamore: Approximately 16.00m. Rear garden: (Lapsed Pollard). Reduce back to approximately 1.00m above previous and most recent pollard points, approximately 6.00m reduction. Remove dead wood throughout crown. General maintenance. T2: Judas: Approximately 5.00m: Rear Garden: Reduce crown by approximately 1.00m all round. Thin crown density throughout by approximately 20%. Remove dead wood throughout. Raise crown by 0.50m. General maintenance. T3: Ginkgo: Approximately 8.00m. Rear garden: Reduce crown by approximately 1.50m. Thin crown density by 20-25%. Remove dead wood. - General maintenance. T4: Apple: Approximately 4.00m: Rear garden, rear boundary: Reduce crown by approximately 25-30%, 1.00m. General maintenance.		De Beauvoir Ward	No Objection	08-12-2021
2021/3063	Householder Planning	101 Osbaldeston Road, Hackney, London, N16 6NP	Erection of rear dormer roof extension	Erin Glancy	Cazenove Ward	Refuse	08-12-2021
2021/3229	Prior Notification - Larger Home Extension	54 Springfield, Hackney, London, E5 9EF	Prior approval application for the erection of a single storey, ground floor, rear extension with a depth of 3.550 metres, an eaves height of 3 metres and a maximum height of 3.5 metres.	James Clark	Springfield Ward	Grant	09-12-2021

Application Reference	Application Type	Location Description	Proposal	Officer Name	Ward	Decision	Decision Issued Date
2021/3115	Certificate of Lawful Development Existing/Proposed	46 Defoe Road, London, N16 0EH	Proposed erection of a roof extension above the roof of the outrigger and roof extension above the main roof	Danny Huber	Stoke Newington Ward	Grant	09-12-2021
2021/3086	Discharge of Condition	Sledge Tower, Dalston Square, E8 3GT Abraham House, Roseberry Place, E8 3GQ Marley House, Roseberry Place, E8 3GD Ruffin House, Roseberry Place, E8 3GD Wonder House, Roseberry Place E8 3GA Ocean House, Dalston Square E8 3FT Dekker House, Dalston Square E8 3FS Burke House, Dalston Square E8 3GW Thomas Tower, Dalston Square, E8 3GU Joplin House, Dalston Square, E8 3DD Dalston Junction Interchange	Submission of details pursuant to condition 4 (Details of the ground floor/podium level cladding) attached to planning permission ref 2020/0455 dated 07/10/2020.	Danny Huber	Dalston Ward	Grant	09-12-2021
2021/2649	Listed Building Consent	241 - 243 Stoke Newington Church Street, Hackney, London, N16 9HP	Listed building consent for the replacement of some existing windows, skylights and roof coverings, together with the repair of other windows and doors and internal alterations.	James Clark	Clissold Ward	Grant	09-12-2021
2021/2549	Full Planning Permission	241 - 243 Stoke Newington Church Street, Hackney, London, N16 9HP	Replacement of some existing windows, skylights and roof coverings, together with the repair of other windows and doors and internal alterations.	James Clark	Clissold Ward	Grant	09-12-2021
2021/1873	Householder Planning	77 Palatine Road, Hackney, London, N16 8SY	Single storey, ground floor side infill extension	James Clark	Shacklewell Ward	Grant	09-12-2021
2021/1580	Discharge of Condition	241 - 243 Stoke Newington Church Street, Hackney, London, N16 9HP	Submission of details pursuant to conditions 2 (Expert Supervision) 3 (Detailing) 8 (Structural engineer works) 9 (Structural variation) 10 (Waterproofing details) attached to planning permission 2019/1975 dated 19/06/2020.	James Clark	Clissold Ward	Grant	09-12-2021
2021/1577	Discharge of Condition	241 - 243 Stoke Newington Church Street, Hackney, London, N16 9HP	Submission of details pursuant to conditions 2 (Compliance) 3 (Additional details) 4 (Materials) 7 (Landscaping Scheme) 9 (Bicycle Storage) 10 (Flood mitigation) 11 (Arboricultural Method Statement) attached to planning permission 2019/1960 dated 19/06/2020.	James Clark	Clissold Ward	Grant	09-12-2021
2021/1117	Full Planning Permission	80 Dynevor Road, Hackney, London, N16 0HA	Amalgamation of flats into a single family dwelling. Demolition of existing outbuilding and construction of a single storey rear extension. Insertion of 2no. rooflights in existing outrigger, alterations to the positioning of windows on the side elevation of the existing outrigger and insertion of bifolding doors on the rear elevation of the original building.	Claire Moore	Stoke Newington Ward	Grant	09-12-2021



Application Reference	Application Type	Location Description	Proposal	Officer Name	Ward	Decision	Decision Issued Date
2019/4160	Full Planning Permission	145 City Road, London, EC1V 1AW	Installation of two new extract louvres at high level, replacing top exit door glazing panels on north elevation. Material and finish to match rest of existing louvres at high level on the building.	Raymond Okot	Hoxton West Ward	Granted - Standard Conditions	09-12-2021
2021/2684	Householder Planning	18 Church Crescent, Hackney, London, E9 7DH	Enlargement of existing opening to garden elevation and insertion of new double glazing; enclosure of front porch.	Raymond Okot	Victoria Ward	Granted - Standard Conditions	09-12-2021
2021/3206	Works to a Tree in Conservation Area Notification	10 Meynell Road, Hackney, London, E9 7AP	Rear Garden: T1-Walnut, Reduce back to previous reduction points.	Leif Mortensen	Hackney Wick Ward	No Objection	09-12-2021
2021/3056	Works to a Tree in Conservation Area Notification	63a Lauriston Road, Hackney, London, E9 7HA	T1 = 1 X Indian Bean Tree to Reduce by 1.5/2. 0Mtrs Maintenance Property Encroachment Light Access	Leif Mortensen	Victoria Ward	No Objection	09-12-2021
2021/3023	Advertisement Consent	Ash News, 309 Mare Street, Hackney, London, E8 1EJ	Advertisement Consent for the retention of an automated teller machine and associated signage.	Erin Glancy	Hackney Central Ward	Refuse	09-12-2021
2021/2991	Prior Telecommunications Notice	Chapter Old Street, 18 Paul Street, Hackney, London, EC2M 4JH	Installation of 12 telecommunications antennae and ancillary equipment at roof level	Micheal Garvey	Hoxton East and Shoreditch Ward	Refuse	09-12-2021
2021/1875	Householder Planning	37 Bouverie Road, Hackney, London, N16 0AH	Erection of a single storey rear extension at lower ground level with alterations to existing fenestrations of rear elevation and erection of a single storey side extension within the existing building footprint including new window to Bouverie Road and blind window to rear.	Erin Glancy	Stoke Newington Ward	Refuse	09-12-2021
2021/1829	Householder Planning	63 Barretts Grove, Hackney, London, N16 8AP	Erection of a single storey ground floor side / rear, basement floor extensions and associated works	Raymond Okot	Shacklewell Ward	Refuse	09-12-2021
2021/3201	Full Planning Permission	5 Hogan Way, Hackney, London, E5 8RF	Replacement of front and rear windows and front door.	James Clark	Cazenove Ward	Grant	10-12-2021
2021/3107	Full Planning Permission	Flat B, 6 Bodney Road, Hackney, London, E8 1AY	The installation of three rooflights in the rear roofslope.	James Clark	Hackney Central Ward	Grant	10-12-2021
2021/2835	Discharge of Condition	Tower Court Clapton Common London E5 9AJ	Submission of details pursuant to condition 23 (Sound testing) attached to planning permission 2016/1930 dated 27/11/2017.	Nick Bovaird	Springfield Ward	Grant	10-12-2021
2021/2773	Discharge of Condition	Tower Court Clapton Common, Hackney, London, E5 9AJ	Submission of partial details to discharge condition 27 (Block C only- PV panel commissioning certificates) of planning permission 2016/1930 dated 27/11/2017.	Nick Bovaird	Springfield Ward	Grant	10-12-2021
2021/2706	Discharge of Condition	Tower Court Clapton Common London E5 9AJ	Submission of partial details pursuant to condition 28 ( Air permeability- Block C only) attached to planning permission 2016/1930 dated 27/11/2017.	Nick Bovaird	Springfield Ward	Grant	10-12-2021

Application Reference	Application Type	Location Description	Proposal	Officer Name	Ward	Decision	Decision Issued Date
2021/2043	Non-Material Amendment	The Stage Land bounded by Curtain Road, Hewett Street, Great Eastern Street, Fairchild Place, Plough Yard & Hearn St Hackney LONDON EC2A 3LP	Non-material amendment to planning permission 2017/0864 dated 23/8/16 for a mixed commercial / residential / theatre exhibition redevelopment with buildings up to 40 storeys in height. The application seeks amendment to the massing and design of Building 6 (Viaduct).	Barry Coughlan	Hoxton East and Shoreditch Ward	Grant	10-12-2021
2021/1942	Full Planning Permission	20-22 Overlea Road, Hackney, London, E5 9BG	Extensions at rear of lower ground and ground floors, and rear & side at first floor levels at No. 20, and extensions at rear of lower ground and first floor levels at No.22	James Clark	Springfield Ward	Grant	10-12-2021
2021/1237	Discharge of Condition	Tower Court Clapton Common London E5 9AJ	Submission of details pursuant to condition 10 (Landscaping) of planning permission 2016/1930 dated 27/11/2017.	Nick Bovaird	Springfield Ward	Grant	10-12-2021
2021/0918	Non-Material Amendment	Tower Court Clapton Common E5 9AJ	Non material amendment to planning permission 2016/1930 dated 27/11/2017. Proposed changes are to the west elevation of Tower A, a reduced size of one set of upper floor windows and removal of pre-cast concrete panels to another set of upper floor windows.	Nick Bovaird	Springfield Ward	Grant	10-12-2021
2021/3089	Householder Planning	83 Glenarm Road, Hackney, London, E5 0LY	Erection of a double-pitched mansard roof extension with front and rear dormer windows	Erin Glancy	Lea Bridge Ward	Refuse	10-12-2021
2021/2786	Full Planning Permission	30 Parkholme Road, Hackney, London, E8 3AG	Erection of a ground floor full width rear extension and a first floor half-width rear extension.	Erin Glancy	Dalston Ward	Refuse	10-12-2021
2021/3211	Prior Notification - Larger Home Extension	15 Lingwood Road, Hackney, London, E5 9BN	Erection of a single-storey rear extension	Raymond Okot	Springfield Ward	Grant	13-12-2021
2021/3142	Discharge of Condition	Woodberry Down - Phase 3 Site, London, N4 2RD	Submission of details pursuant to condition 5 (contaminated land investigation), for areas previously covered by hard surfacing or buildings, attached to planning permission 2019/2514 dated 9th December 2020	Catherine Slade	Woodberry Down Ward	Grant	13-12-2021
2021/3102	Certificate of Lawful Development Existing/Proposed	52 Aden Grove, Hackney, London, N16 9NJ	Lawful Development Certificate (Proposed) roof extension.	Erin Glancy	Clissold Ward	Grant	13-12-2021

Application Reference	Application Type	Location Description	Proposal	Officer Name	Ward	Decision	Decision Issued Date
2021/2361	Non-Material Amendment	12 Penn Street, Hackney, London, N1 5DJ	Non material amendment to application 2017/3393 dated 29/03/19 for demolition of existing buildings and erection of a basement and seven storey building comprising flexible retail and community floorspace and 30 residential units. Amendments comprise: Amended ground floor layout to make all the non-residential floorspace one community use; new electrical sub-station and amended means of escape from the basement; mechanical air vent requirement located above the ground floor windows; location of automatic smoke vent (windows) at ground floor level; new location for community facility's bin store and gas meters; boundary enclosure to community area; defensible zone around the ground floor perimeter of the main hall; lift overrun.	Nick Bovaird	Hoxton East and Shoreditch Ward	Grant	13-12-2021
2021/2324	Discharge of Condition	12 Penn Street, Hackney, London, N1 5DJ	Submission of details pursuant to condition 14 (waste strategy) of planning permission 2017/3393 dated 29/03/19 for demolition of existing buildings and erection of a basement and seven storey building comprising business / retail / community floorspace and 30 residential units.	Nick Bovaird	Hoxton East and Shoreditch Ward	Grant	13-12-2021
2021/1956	Discharge of Condition	58 Middleton Road, Hackney, London, E8 4BS	Discharge conditions 3 (materials), 4 (details), 5 (construction logistics), 6(tree protection), 7 (flooding) and 8 (SUDS) of planning permission no. 2020/1682 granted for part single, part two storey rear extension at lower and upper ground level, creation of terrace at upper ground floor level and extension of the lower ground floor sunken terrace, with associated access from lower ground floor level into the rear garden. Alterations to front fenestration at lower ground floor level.	Claire Moore	London Fields Ward	Grant	13-12-2021
2021/1664	Full Planning Permission	30 - 34 Broadway Market, London, E8 4QJ	Installation of ventilation ducts and cooling units with associated acoustic enclosure to the rear of the building.	Alix Hauser	London Fields Ward	Grant	13-12-2021
2021/0120	Discharge of Condition	12 Penn Street, Hackney, London, N1 5DJ	Submission of details pursuant to condition 9 (remediation scheme validation report) of planning permission 2017/3393 dated 29/03/2019 for demolition of existing buildings and erection of a basement and seven storey building comprising community and place of worship floorspace and 30 residential units.	Nick Bovaird	Hoxton East and Shoreditch Ward	Grant	13-12-2021

Application Reference	Application Type	Location Description	Proposal	Officer Name	Ward	Decision	Decision Issued Date
2020/3953	Discharge of Condition	105 Queens Drive, Hackney,	Submission of details pursuant to condition 4 (cycle storage) and 5 (flood risk and drainage) of planning permission 2017/4200 dated 10/01/2018.	Lasma Putrina	Brownswood Ward	Grant	13-12-2021
2021/3037	Householder Planning	6 Thistlewaite Road, Hackney, London, E5 0QQ	Excavation to front garden to form front basement lightwell, new basement windows, erection of single storey ground floor rear extension.	Micheal Garvey	Lea Bridge Ward	Granted - Extra Conditions	13-12-2021
2021/2982	Full Planning Permission	The Tea Building, 5- 13 Bethnal Green Road , London, E1 6LA	Alterations to windows, shopfront to part ground and part first floor to Shoreditch high street and associated works	Micheal Garvey	Hoxton East and Shoreditch Ward	Granted - Extra Conditions	13-12-2021
2021/2972	Full Planning Permission	Wing On Express Ltd, 88 Hoxton Street, Hackney, London, N1 6LP	Change of use from shop E (a) to nail spa salon (sui generis) and installation of roller shutter and alterations to shop front	Micheal Garvey	Hoxton East and Shoreditch Ward	Granted - Extra Conditions	13-12-2021
2021/3048	Full Planning Permission	Unit 12 Printing House Yard, 15 Hackney Road, Hackney, London, E2 7PR	Replacement of existing black steel single-glazed crittall style windows and door with new double-glazed units to match existing style.	Raymond Okot	Hoxton East and Shoreditch Ward	Granted - Standard Conditions	13-12-2021
2021/2899	Advertisement Consent	192 Stoke Newington High Street, London, N16 7JD	Installation of 2 x externally illuminated fascia signs and 1 x externally illuminated projecting sign.	Danny Huber	Stoke Newington Ward	Granted - Standard Conditions	13-12-2021
2021/2747	Full Planning Permission	Climpson And Sons, Railway Arch 374 Helmsley Place, Hackney, London, E8 3SB	Retention of existing 'marquee' type structure for a temporary period of 5 years	Louise Prew	London Fields Ward	Granted - Standard Conditions	13-12-2021
2021/2356	Full Planning Permission	66 Springdale Road, Hackney, London, N16 9NX	Enlargement of front and rear dormers with new dormer windows, re-roofing of roof and installation of two rear rooflights. New bike and bin store to front garden and new handrail to existing external stair. Repair/replace front boundary wall. Alterations to door and windows on rear elevation. New fence and shed and outbuilding with timber decking to rear garden.	Danny Huber	Clissold Ward	Granted - Standard Conditions	13-12-2021
2021/3000	Certificate of Lawful Development Existing/Proposed	130 Hawksley Road, London, N16 0TD	Proposed erection of rear dormer; extension over existing outrigger; installation of front roof lights; and replacement of existing outbuilding.	Alix Hauser	Clissold Ward	Refuse	13-12-2021
2021/2903	Listed Building Consent	284 Queensbridge Road, Hackney, London, E8 3NH	Replacement of existing front door and replacement of existing two rear windows.	Raymond Okot	London Fields Ward	Refuse	13-12-2021
2021/3058	Discharge of Condition	Round Chapel Arts Centre, Round Chapel, 1d Glenarm Road, Hackney, London, E5 0LY	Submission of details pursuant to Condition 7c (new guarding/safety restraint system for roof maintenance) of Listed Building Consent 2020/1006 dated 18th September 2020.	Timothy Walder	Lea Bridge Ward	Grant	14-12-2021
2021/2203	Certificate of Lawful Development Existing/Proposed	1A Charnock Road, Hackney, London, E5 8DP	Lawful development certificate for construction of a rear dormer extension	Lasma Putrina	Hackney Downs Ward	Grant	14-12-2021

Application Reference	Application Type	Location Description	Proposal	Officer Name	Ward	Decision	Decision Issued Date
2021/1859	Discharge of Condition	12 Penn Street, Hackney, London, N1 5DJ	Submission of details pursuant to condition 13 (materials) attached to planning permission 2017/3393 dated 29/03/2019 for demolition of existing buildings and erection of a basement and seven storey building comprising 600sqm of community and place of worship floorspace (class D1) , 62 sqm of flexible business / retail / community(class A1/A2/A3/B1/D1) floorspace and 30 residential units.	Nick Bovaird	Hoxton East and Shoreditch Ward	Grant	14-12-2021
2021/2793	Full Planning Permission	1-13 Bridge Gardens, Hackney, London, N16 9GN	Retrospective timber pergola to front elevation	Micheal Garvey	Clissold Ward	Granted - Extra Conditions	14-12-2021
2021/1798	Full Planning Permission	Flat A, 65 Alvington Crescent, Hackney, London, E8 2NN	Erection of single-storey upward extension and erection of enclosed staircase to front elevation	Gerard Livett	Dalston Ward	Granted - Extra Conditions	14-12-2021
2021/3353	Non-Material Amendment	159 Brooke Road, Hackney, London, E5 8AG	Non-material amendment to planning permission ref 2021/1947 dated 13/08/2021 comprising insertion of 2 x rooflights to main roof slope	Danny Huber	Hackney Downs Ward	Refuse	14-12-2021
2021/3123	Full Planning Permission	Flat 3, 90 Manor Road, Hackney, London, N16 5BN	Proposed rear roof extension.	Erin Glancy	Stamford Hill West Ward	Refuse	14-12-2021
2021/3116	Householder Planning	130 Hawksley Road, London, N16 0TD	Replacement of single storey outbuilding in rear garden with two-storey outbuilding and installation of new window at first floor level in rear outrigger.	Alix Hauser	Clissold Ward	Refuse	14-12-2021
2021/3379	Non-Material Amendment	36 Lea Bridge Road, Hackney, London, E5 9QD	Non material amendment to planning permission 2019/4118 granted on 20/01/2020 as amended by 2020/3564 dated 10/12/2020. The non-material amendment would involve relocating the bicycle storage from inside the building to the rear garden.	Raymond Okot	Lea Bridge Ward	Grant	15-12-2021
2021/3168	Certificate of Lawful Development Existing/Proposed	15 Thistlewaite Road, Hackney, London, E5 0QG	Lawful development certificate (proposed) for the construction of a rear roof and outrigger roof extension together with the installation of front rooflights.	James Clark	Lea Bridge Ward	Grant	15-12-2021
2021/3166	Householder Planning	59 Nightingale Road, Hackney, London, E5 8NB	Construction of a single storey, ground floor wrap-around rear extension together with internal works.	James Clark	Hackney Downs Ward	Grant	15-12-2021
2021/3059	Householder Planning	91 Mildenhall Road, London, E5 0RY	Excavation and extension of basement including creation of front light well and front basement extension under entranceway; and erection of single-storey rear and side extensions at ground floor level.	Alix Hauser	Lea Bridge Ward	Grant	15-12-2021
2021/2956	Discharge of Condition	118 Curtain Road, Hackney, London, EC2A 3PJ	Submission of details pursuant to condition 5 (Refuse Strategy) attached to planning permission 2020/3775 dated 11/03/2021.	Barry Coughlan	Hoxton East and Shoreditch Ward	Grant	15-12-2021

Application Reference	Application Type	Location Description	Proposal	Officer Name	Ward	Decision	Decision Issued Date
2021/2774	Discharge of Condition	Kidzmania, Adjacent St James Church, 28 Powell Road, Hackney, London, E5 8DJ	Submission of details pursuant to condition 8 (landscaping) attached to planning permission 2016/0901.	Barry Coughlan	Hackney Downs Ward	Grant	15-12-2021
2021/2539	Discharge of Condition	Kidzmania, Adjacent St James Church, 28 Powell Road, Hackney, London, E5 8DJ	Submission of details pursuant to condition 9 (remediation statement) attached to planning permission 2016/0901	Barry Coughlan	Hackney Downs Ward	Grant	15-12-2021
2021/2534	Discharge of Condition	Kidzmania, Adjacent St James Church, 28 Powell Road, Hackney, London, E5 8DJ	Submission of details pursuant to condition 10 (piling) attached to planning permission 2016/0901	Barry Coughlan	Hackney Downs Ward	Grant	15-12-2021
2021/2976	Householder Planning	37 Egerton Road, London, N16 6UE	Erection of a first floor rear extension.	Danny Huber	Springfield Ward	Granted - Standard Conditions	15-12-2021
2021/3134	Householder Planning	130 Hawksley Road, London, N16 0TD	Replacement of single storey outbuilding in rear garden with two-storey outbuilding and installation of new window at first floor level in west elevation.	Alix Hauser	Clissold Ward	Refuse	15-12-2021
2021/3101	Advertisement Consent	216 Well Street, Hackney, London, E9 6QT	Advertisement consent for replacement fascia and gable signage.	James Clark	Hackney Wick Ward	Grant	16-12-2021
2021/2664	Full Planning Permission	The Tea Building, 5-13 Bethnal Green Road, Hackney, London, E1 6LA	Installation of plant at roof level and associated works	Micheal Garvey	Hoxton East and Shoreditch Ward	Granted - Extra Conditions	16-12-2021
2021/3011	Full Planning Permission	2, Kingsfield House Victorian Grove, Hackney, London, N16 8EY	Replacement of existing windows and doors with uVPC windows and doors	Micheal Garvey	Stoke Newington Ward	Granted - Standard Conditions	16-12-2021
2021/3136	Full Planning Permission	First Floor Flat, 2 Blurton Road, Hackney, London, E5 0NL	Erection of a mansard-style roof extension	Gerard Livett	Lea Bridge Ward	Refuse	16-12-2021
2021/3005	Full Planning Permission	Basement Flat, 23 Darenth Road, Hackney, London, N16 6EP	Conversion of the property to Basement flat and Ground Floor Maisonette	Raymond Okot	Cazenove Ward	Refuse	16-12-2021

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